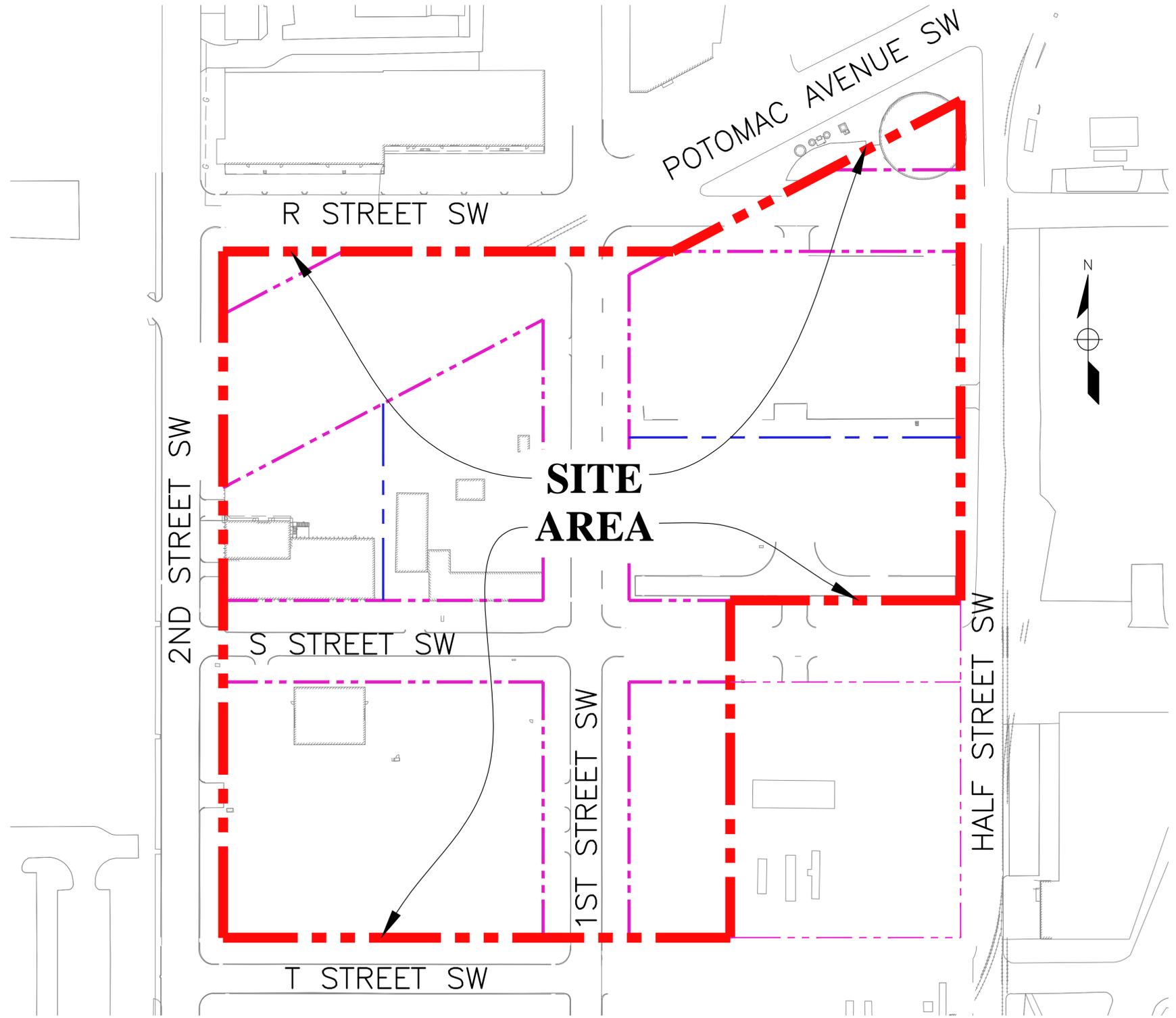


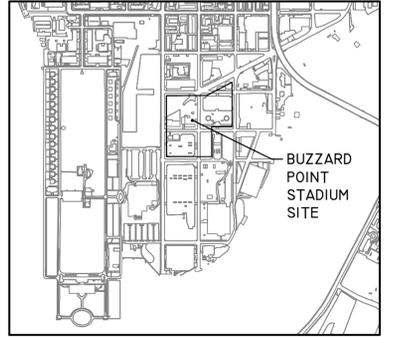
# BUZZARD POINT DEMOLITION PLANS 2015



**SITE LOCATION MAP**  
NTS

JOB	W12-2600	SHEET	1	OF	28
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NO.	DESCRIPTION	BY	DATE



**VICINITY MAP**  
SCALE: 1"=1000'

**BUZZARD POINT  
DEMOLITION INDEX OF DRAWINGS**

- 0001 OVERALL SITE LOCATION MAP
- 0002 AERIAL SITE PLAN
- 0003 ROAD CLOSURE SIGNAGE PLAN
- 0004 EXISTING CONDITIONS
- SUPER SALVAGE DEMOLITION SET
- AKRIDGE DEMOLITION SET
- EIN PROPERTY DEMOLITION SET
- SALT DOME DEMOLITION SET

NO.	DESCRIPTION	BY	DATE

**PUBLIC SPACE REVIEW**

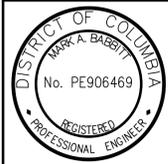
McKISSACK AND McKISSACK  
ENGINEERING

BUZZARD POINT  
AKRIDGE WAREHOUSE DEMOLITION

**OVERALL SITE LOCATION MAP**

DEMOLITION	
SCALE	DRAWN PES
INTERCEPTOR	CHECKED MAB
SYSTEM	SUBMITTED M BABBITT
SURVEYED	
DATE	JULY 2015
RECOMMENDED	
CADD FILE	BZPT_0000_DEMOLITION COVER1

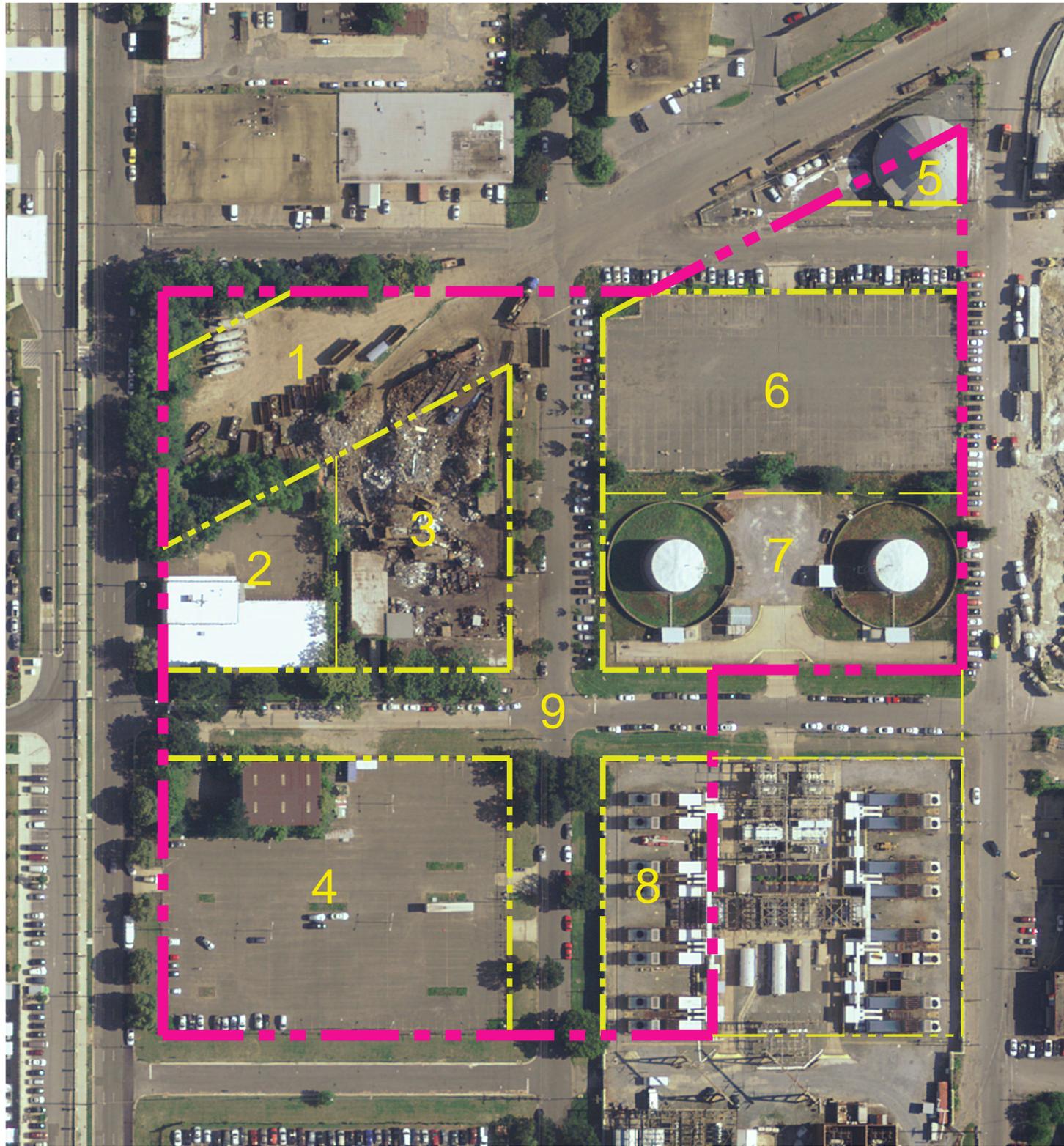
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REDUCTION  
VERIFICATION  
SCALE

10 INCHES



**AERIAL SITE PLAN**  
NTS

**NOTE:**

SEE SHEET 0003 FOR THE REMOVAL OF ALL INTERIOR FENCING ONCE THE CONSOLIDATED SITE HAS BEEN SECURED. REMOVAL OF FENCING IS NOT LIMITED TO THAT SHOWN. CONTRACTOR TO VERIFY QUANTITIES.

**BUZZARD POINT DEMOLITION  
PROPERTY IDENTIFICATION SUMMARY**

POTOMAC RIGHT-OF-WAY AND DISTRICT PARCEL

- 1 REMOVE ALL DEBRIS FROM AREA, REMOVE ALL ELEVATED CURB/SLABS, REMOVE TREES AND VEGETATION AT PERIMETER OF SITE (ANY TREE OVER 55" SHALL REQUIRE A SPECIAL PERMIT FROM THE URBAN FORESTRY ADMINISTRATION) AND REMOVE EARTH BERM AND ANY DEBRIS WITHIN THE BERM AND REDISTRIBUTE TO FLATTEN AREA. STORAGE TANK TO BE REMOVED BY A QUALIFIED REMOVAL COMPANY.
- 2 EIN PROPERTY (SQUARE 0605 LOT 0007)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS.
- 3 SUPER SALVAGE PROPERTY (SQUARE 0605 LOT 0802)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS.
- 4 AKRIDGE PROPERTY (SQUARE 0607 LOT 0013)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS.
- 5 WASHINGTON DC (SALT DOME) (SQUARE 0661 LOT 0800)  
SEE ATTACHED DOCUMENTS FOR DEMOLITION REQUIREMENTS. DEMOLITION CANNOT COMMENCE UNTIL APRIL 2016 AND WITH DDOT APPROVAL.
- 6 PEPCO PROPERTY (SQUARE 0661 LOT 0805)  
REMOVE ALL CONCRETE BLOCKS, WHEEL STOPS AND CURBING IN THIS AREA. REMOVE ALL LIGHT POLES AND LIGHT POLE FOUNDATIONS TO GRADE. BACKFILL ANY VOIDS CREATED BY THE REMOVAL OF THE FOUNDATIONS WITH CR-6 BACK TO GRADE. REMOVE TREES AND VEGETATION AS REQUIRED. (ANY TREE OVER 55" SHALL REQUIRE A SPECIAL PERMIT FROM THE URBAN FORESTRY ADMINISTRATION).
- 7 PEPCO PROPERTY (SQUARE 0661 LOT 0804)  
REMOVE ALL ELEVATED CONCRETE, CURBS AND CONCRETE CONTAINMENT BERMS. EXISTING STANDPIPE TO BE REMOVED TO GRADE. REMOVE ALL LIGHT POLES AND LIGHT POLE FOUNDATIONS TO GRADE. BACKFILL ANY VOIDS CREATED BY THE REMOVAL OF THE FOUNDATIONS WITH CR-6 BACK TO GRADE. REMOVE TREES AND VEGETATION AS REQUIRED. (ANY TREE OVER 55" SHALL REQUIRE A SPECIAL PERMIT FROM THE URBAN FORESTRY ADMINISTRATION). DEMOLITION CANNOT COMMENCE UNTIL APRIL 2016 AND WITH DDOT APPROVAL. (DEMOLITION TO COINCIDE WITH THE SALT DOME DEMOLITION)
- 8 PEPCO PROPERTY (SQUARE 0665 p/o LOT 0024)  
REMOVE APPROXIMATELY 375 FEET OF CONCRETE MASONRY WALL. DEMOLITION CANNOT COMMENCE UNTIL 2016 AND WITH DDOT APPROVAL. (DEMOLITION TO COINCIDE WITH THE SALT DOME DEMOLITION)  
REMOVE ANY STANDPIPES TO GRADE.
- 9 ROAD CLOSURE (PUBLIC SPACE)  
REMOVE ALL SIGNAGE, METER POLES, CARD READERS, BOLLARDS AND CONCRETE BLOCKS.  
REMOVE STREET TREES AT THE DIRECTION OF THE URBAN FORESTRY ADMINISTRATION.

JOB	W12-2600	SHEET	2	OF	28
REVISION					
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
CONSTRUCTION DOCUMENTS			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SITE CONSTRUCTION PLAN			
AERIAL SITE PLAN			
DEMOLITION			
SCALE	DRAWN	PES	
INTERCEPTOR	CHECKED	MAB	
SYSTEM	SUBMITTED	M BABBITT	
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_0000_DEMOLITION COVER2		

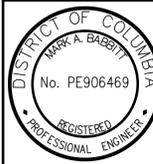
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VERIFICATION  
SCALE

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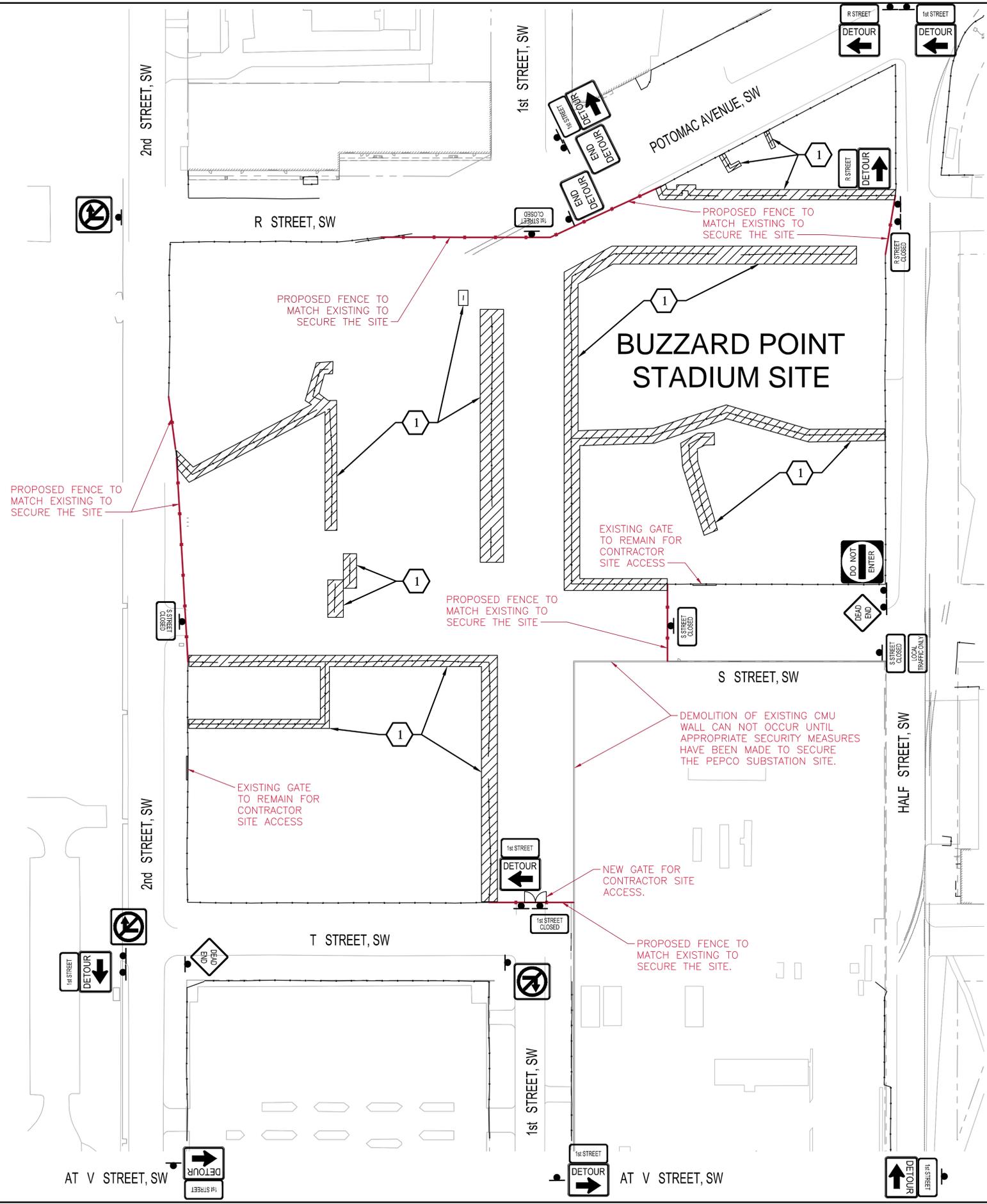
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REDUCTION VERIFICATION SCALE

AT V STREET, SW

AT V STREET, SW

10 INCHES



JOB	W12-2600	SHEET	3	OF	28
REVISION					
NO.	DESCRIPTION	BY	DATE		

**GENERAL NOTE:**

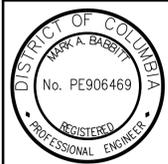
1. ALL GATES AND OPENINGS IN THE PERIMETER FENCING ARE TO BE CLOSED AND SECURED AT THE TIME OF THE ROADS BEING CLOSED.

**CODED NOTE:**

- ① REMOVE ALL INTERIOR FENCING ONCE THE PERIMETER FENCING HAS BEEN INSTALLED AND THE CONSOLIDATED SITE HAS BEEN SECURED.

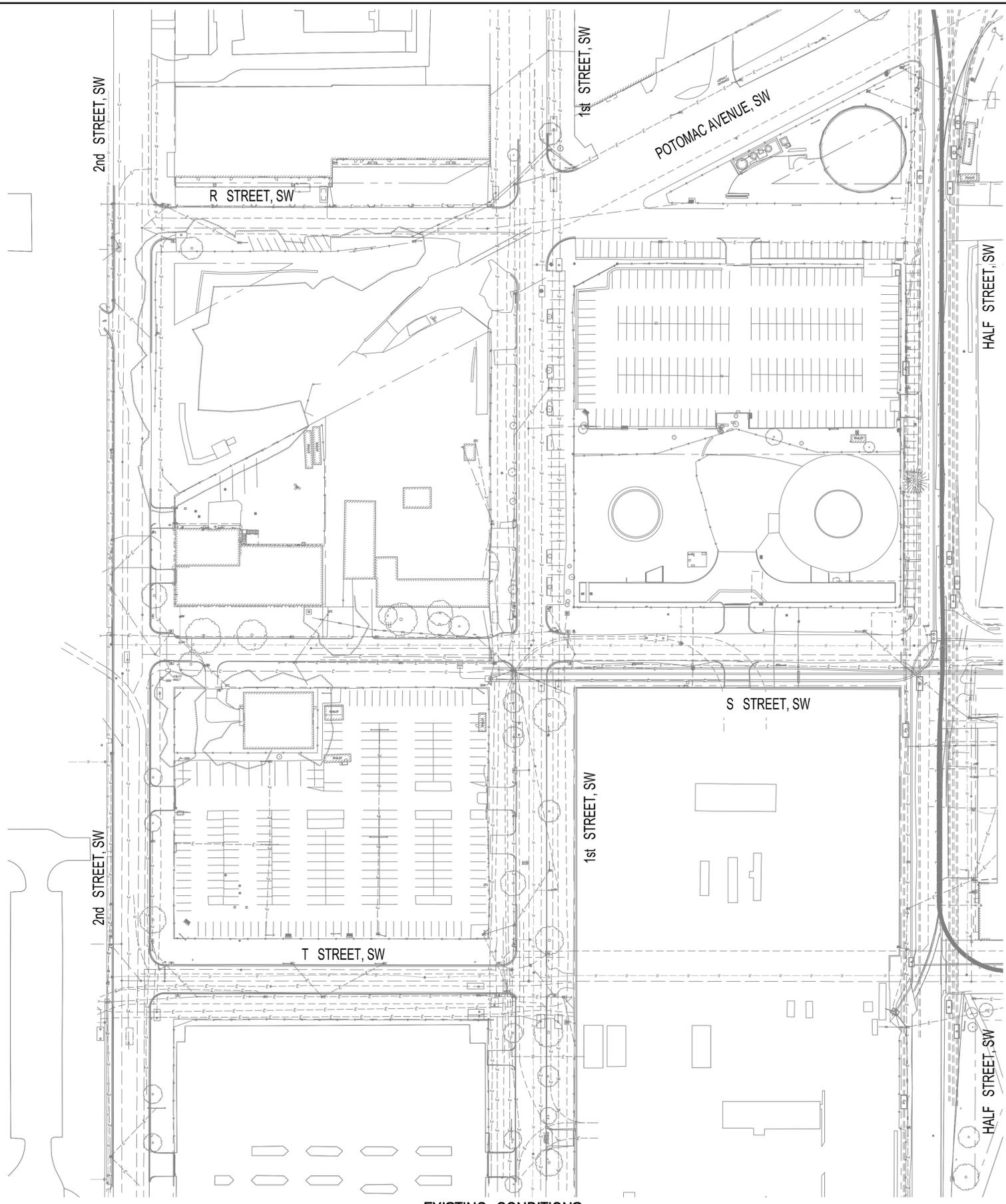
NO.	DESCRIPTION	BY	DATE
CONSTRUCTION DOCUMENTS			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SITE CONSTRUCTION PLAN			
<b>ROAD CLOSURE SIGNAGE PLAN</b>			
SCALE	INTERCEPTOR	DRAWN	PES
SYSTEM	SURVEYED	CHECKED	MAB
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_0000_DEMOLITION_COVER3	RECOMMENDED	

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 VERIFICATION  
 SCALE



**EXISTING CONDITIONS**  
 NTS

10 INCHES

JOB	W12-2600	SHEET	4	OF	28
REVISION					
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
CONSTRUCTION DOCUMENTS			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT SITE CONSTRUCTION PLAN			
EXISTING CONDITIONS			
SCALE	INTERCEPTOR	DRAWN	PES
SYSTEM	SURVEYED	CHECKED	MAB
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_0000_DEMOLITION_COVER4	RECOMMENDED	

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL ALERT THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OPERATION AND SHALL ASCERTAIN THE LOCATION OF NEARBY UNDERGROUND UTILITIES. NO EXCAVATION IS PERMITTED UNTIL THE LOCATION OF UTILITIES ARE MARKED.
2. THE CONTRACT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND SHALL OBTAIN THE NECESSARY PERMITS PRIOR TO DEMOLITION.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE BEEN ESTABLISHED BASED ON INFORMATION FROM RECORD AND CONTRACT DRAWINGS OF PAST AND PRESENT PROJECTS, TEST TRENCHES, AND FIELD SURVEYS. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY DMPED/DGS/McKISSACK & McKISSACK OF ANY CONFLICT UPON EXCAVATION AT ANY AND ALL SUCH LOCATIONS.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, WORK AREA, MATERIAL, EQUIPMENT STORAGE, AND FIELD OFFICES MUST BE CONFINED TO THE DESIGNATED SPACES AS INDICATED ON THE DRAWINGS.
5. EXISTING SITE CONDITIONS IN OTHER AREAS (SUCH AS CONTOURS, ELEVATIONS, ROADWAY AND BUILDING LOCATIONS, ETC.) ARE BASED ON INFORMATION FROM RECORD DRAWINGS AND PARTIAL FIELD SURVEYS. CONTRACTOR TO VERIFY ALL LOCATIONS IN THE FIELD.
6. TEST TRENCHES FOR THE PURPOSE OF EXPOSING AND RECORDING THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND DUCTBANKS ARE REQUIRED PRIOR TO START OF DEMOLITION.
7. CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED PRIOR TO DEMOLITION.
8. EXISTING AND MODIFIED DATA SHOWN ON THE DRAWINGS SUCH AS STATIONS, DIMENSIONS, CONTOURS AND ELEVATIONS ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND VERIFYING ALL SITE CONDITIONS AND IS RESPONSIBLE FOR ALL CONTENT SHOWN AND NOT SHOWN EXCEPT WERE NOTED.
10. CONTRACTOR SHALL SUBMIT AND EXECUTE A DUST CONTROL PLAN OUTLINING PROTOCOLS AND PROCEDURES FOR THE SPRAYING OF DUST PILES, CONTAINMENT OF FUGITIVE DUST, CONTINUOUS DUST MONITORING AND APPROPRIATE ADJUSTMENT MEASURES TO ACCOMMODATE CHANGES IN ENVIRONMENTAL CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS AIR MONITORING DURING DEMOLITION.

SYMBOLS	
DESCRIPTION	EXISTING
LIGHT POLE	⊙ LP
ELECTRICAL MANHOLE	⊕
COMMUNICATIONS MANHOLE	⊕ OR ⊕
CITY WATER VALVE CASING	⊕ W
STORM SEWER MANHOLE	⊕ D
SANITARY SEWER MANHOLE	⊕ S
CATCH BASIN	□ CB
UTILITY POLE	⊕
CURB & GUTTER	====
CHAIN LINK FENCE	— X —
W BEAM GUIDERAIL	— I —
GAS LINE	— G —
ELECTRICAL LINE	— E —
WATER LINE	— W —
OVERHEAD ELETRICAL	— OHE —
TREE LINE	~~~~

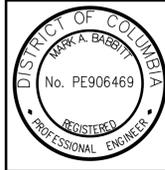
**ABBREVIATIONS:**

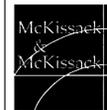
ABAN	ABANDONED
ASC	AMERICAN SURVEYING CONSULTANTS
ASL	ALTERNATE SLUDGE (SPARE LINE)
BIT	BITUMINOUS
BL	BASELINE
BLDG	BUILDING
BW	BACK OF WALK
CB	CATCH BASIN
CCJM	C.C. JOHNSON AND MALHOTRA
CG	CHANGE OF GRADE
CL	CHLORINE
CLS	CHLORINE SOLUTION
CLF	CHAIN LINK FENCE
C&G	CURB AND GUTTER
CSMH	COMMUNICATIONS SYSTEM MANHOLE
COMM	COMMUNICATIONS
CRS	CHEMICAL RECEIVING STATION
CW	CITY WATER
DB	DUCT BANK
D	DRAIN
DI	DROP INLET
DIP	DUCTILE IRON PIPE
E	EAST
ELEC	ELECTRIC
EL/ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
ETR	EXISTING TO REMAIN
FF	FIRST FLOOR
FM	FORCE MAIN
FT	FEET
GPR	GROUND PENETRATING RADAR
HPNG	HIGH PRESSURE NATURAL GAS
HPT	HIGH POINT
IN	INCH
INS	INSERTION
INV	INVERT
LC	LENGTH OF CURVE
LP	LIGHT POLE
LPT	LOW POINT
LT	LEFT
MG	MEET GRADE
MH	MANHOLE
MISC	MISCELLANEOUS
MON	MONUMENT
MS	MULTIPURPOSE SLUDGE
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
OMD	OFFICE MANUAL DRAWING
PC	POINT OF CURVE
PCC	PORTLAND CEMENT CONCRETE
PCCP	PRESTRESSED CONCRETE CYLINDER PIPE
DRN	PROCESS DRAIN
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PM	PROCESS MANHOLE
POC	POINT ON CURVE
POT	POINT ON TANGENT
PROP	PROPOSED
RPT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCCP	REINFORCED CONCRETE PRESSURE PIPE
RD	ROOF DRAIN
REF	ROOF EXHAUST FAN
RR	RAILROAD
RT	RIGHT
S	SOUTH
SMH	SANITARY SEWER MANHOLE
SRPS	SITE RUNOFF PUMP STATION
STMH	STORM SEWER MANHOLE
SD	STORM DRAIN
SDBC	DUCT BANK GROUND WIRE
STA	STATION
TC	TOP OF CURB
TEL	TELEPHONE
TOC	TOP OF CASTING
TOS	TOP OF SLAB
TYP	TYPICAL
VAR	VARIABLE
VC	VITRIFIED CLAY
W	WEST
WMH	WATER MANHOLE
X-RAIN	CROSS DRAIN
YH	YARD HYDRANT

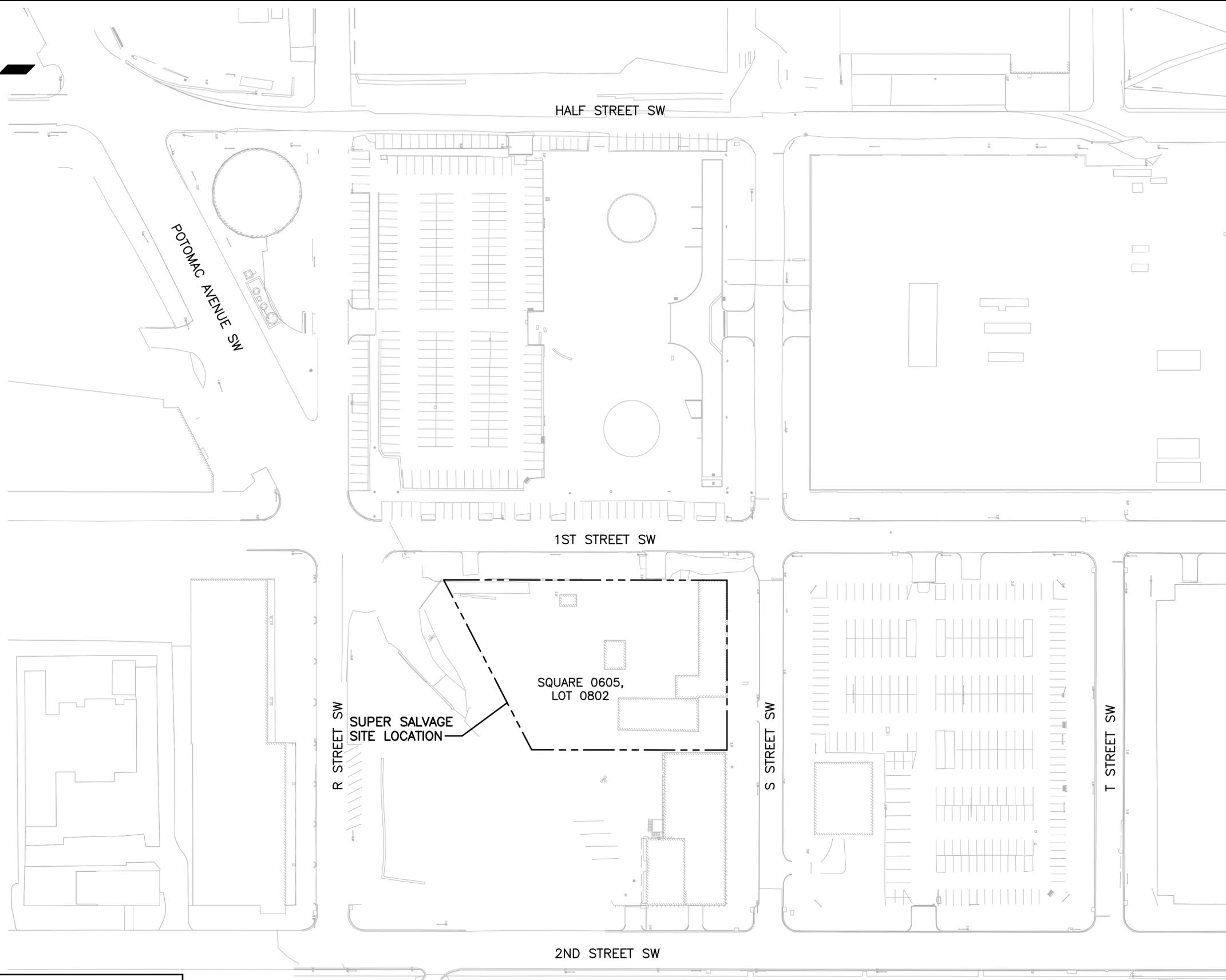
JOB	W12-2600	SHEET	5	OF	28
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW	
McKISSACK AND McKISSACK ENGINEERING	
BUZZARD POINT SUPER SALVAGE SITE DEMOLITION	
<b>NOTES AND ABBREVIATIONS</b>	
<b>DEMOLITION</b>	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_D001_DEMOLITION_ABBREVIATION




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HALF STREET SW

POTOMAC AVENUE SW

1ST STREET SW

SQUARE 0605,  
LOT 0802

SUPER SALVAGE  
SITE LOCATION

R STREET SW

S STREET SW

T STREET SW

2ND STREET SW

**SUPER SALVAGE SITE**  
SCALE: 1"=50'

JOB W12-2600 SHEET 6 OF 28

NO.	DESCRIPTION	BY	DATE

**GENERAL NOTES:**

- 1711 FIRST STREET, SW, SQUARE 0605, LOT 0802 IS OWNED BY SUPER SALVAGE, INC. WHICH OPERATES A SALVAGE YARD FOR DIVERSE METAL STRUCTURES.
- THIS LOT IS OPERATED AS A METAL SCRAP YARD SINCE THE 1960S. THE PROPERTY CONSISTS OF THE FOLLOWING CONCRETE MASONRY BUILDINGS: A TWO-STORY MAIN BUILDING (BUILDING 1); AN OPEN WAREHOUSE ADJACENT TO THE MAIN BUILDING (BUILDING 2); A CENTER ONE-STORY STRUCTURE (BUILDING 3); AND A REAR OFFICE SHACK (BUILDING 4).
- THE TWO-STORY MAIN BUILDING IS UTILIZED BY THE SUPER SALVAGE FOR OFFICES AND STORAGE. THE EAST FIRST FLOOR LEVEL OF THE BUILDING HAS OFFICES AND RESTROOMS. THE WEST FIRST FLOOR LEVEL HAS A LARGE WAREHOUSE WITH A STAIRWELL THAT LEADS TO THE SECOND FLOOR STORAGE AREA. THE WEST OPEN WAREHOUSE CONTAINS MACHINERY. THE CENTER STRUCTURE IS SURROUNDED BY DEBRIS PILES AND HAS A STAIRWELL THAT LEADS TO THE ROOF. THE REAR SMALL BUILDING IS AN OFFICE.
- DEMOLITION WORK SHALL COMMENCE ONLY AFTER THE LOCATION AND CAPPING OF UNDERGROUND UTILITIES AND THE REMOVAL OF OVERHEAD UTILITIES SERVICING THE BUILDINGS TO BE DEMOLISHED.

NO.	DESCRIPTION	BY	DATE

**PUBLIC SPACE REVIEW**

McKISSACK AND McKISSACK  
ENGINEERING

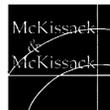
BUZZARD POINT  
SUPER SALVAGE SITE DEMOLITION

**SITE LOCATION PLAN**

**DEMOLITION**

SCALE	DRAWN	CEC
INTERCEPTOR	CHECKED	JUH
SYSTEM	SUBMITTED	M BABBITT
SURVEYED		
DATE	JULY 2015	RECOMMENDED
CADD FILE	BZPT_D001_DEMOLITION_SITE_PLAN	

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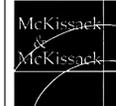
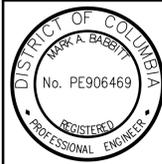


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REDUCTION  
VERIFICATION  
SCALE

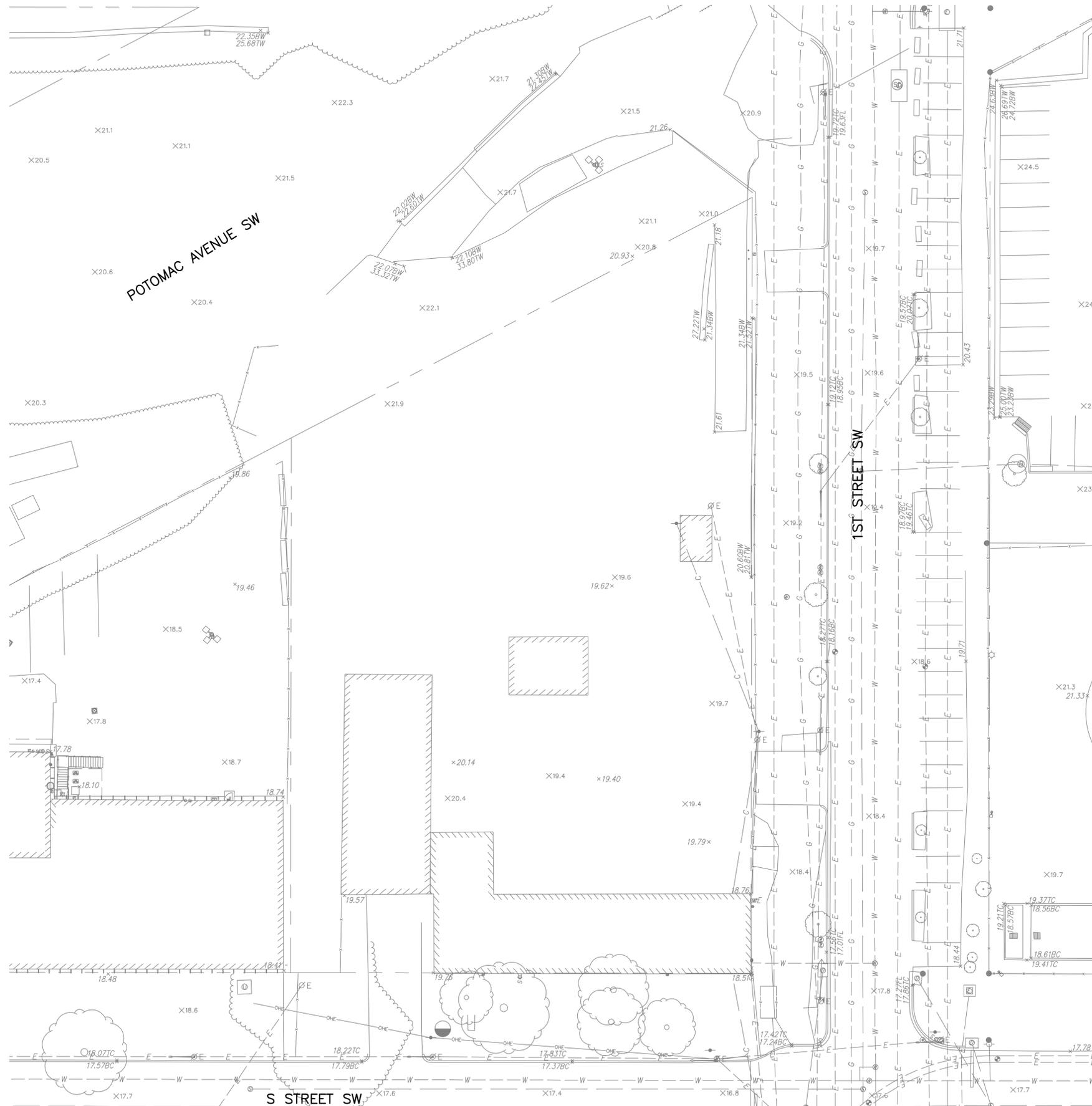
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REDUCTION  
 VERIFICATION  
 SCALE



**EXISTING UTILITY PLAN**  
 SCALE: 1"=20'

10 INCHES

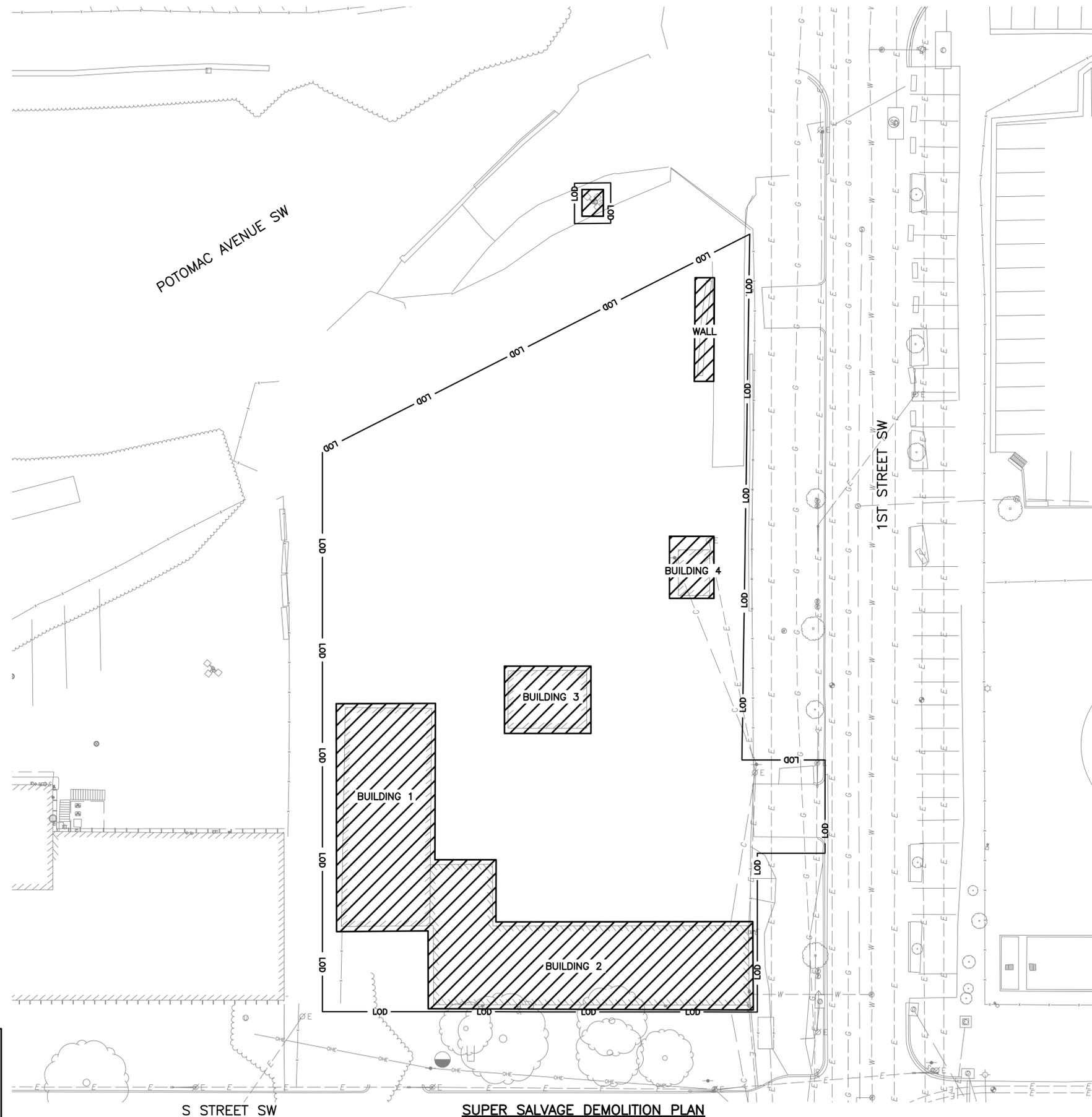


JOB	W12-2600	SHEET	7	OF	28
NO.	DESCRIPTION	BY	DATE		

NO.	DESCRIPTION	BY	DATE
	PUBLIC SPACE REVIEW		
	McKISSACK AND McKISSACK ENGINEERING		
	BUZZARD POINT SUPER SALVAGE SITE DEMOLITION		
	EXISTING UTILITIES		
	DEMOLITION		
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	RECOMMENDED	M. BABBITT
CADD FILE	BZPT_D002_DEMOLITION UTILITY PLANS		

D003

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**ENVIRONMENTAL INVENTORY**

THE FOLLOWING IS FROM THE RESULTS FROM THE JULY 28, 2015 HAZARDOUS MATERIAL SURVEY CONDUCTED BY ECS MID-ATLANTIC, LLC:

**ASBESTOS-CONTAINING MATERIALS:**

- FRONT OFFICE 9" X 9" GRAY FLOOR TILE - 5% CHRYSOTILE
- REAR OFFICE GRAY INTERIOR WINDOW CAULK - 4% CHRYSOTILE
- REAR OFFICE BATHROOM WHITE INTERIOR WINDOW GLAZE - 2% CHRYSOTILE
- FRONT OFFICE 12" X 12" TAN FLOOR TILE (INSUFFICIENT MASTIC) - 2% CHRYSOTILE
- 1711 1ST ST SW FRONT OFFICE 12" X 12" TAN FLOOR TILE (TILE #2) - 5% CHRYSOTILE
- 2ND FLOOR STORAGE AREA PIPE INSULATION - 50% CHRYSOTILE
- EXTERIOR MAIN BUILDING WHITE EXTERIOR WINDOW CAULK - 2% CHRYSOTILE
- ROOF FLASHING - 10% CHRYSOTILE
- ROOF GRAY COPING STONE CAULK - 6% CHRYSOTILE

**SRF LEAD BASED PAINT SUMMARY:**

- REAR OFFICE METAL GREEN WINDOW APRON - Pb 1.00

JOB	W12-2600	SHEET	8	OF	28
NO.	DESCRIPTION	BY	DATE		

**DEMOLITION NOTES:**

1. DEMOLISH, COMPLETELY, DOWN TO GRADE EVERYTHING WITHIN THE AREA OF DEMOLITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE AND SAFE REMOVAL OR REMEDIATION OF ANY HAZARDOUS MATERIALS FOUND IN THE DEMOLITION LIMITS REPRESENTED IN THE DEMOLITION DRAWINGS INCLUDING BUT NOT LIMITED TO THOSE LISTED IN THE ENVIRONMENTAL INVENTORY ON THIS PAGE.
3. REMOVE ALL EXISTING SURFACE MOUNTED FIXTURES, WIRING OR ANY ATTACHMENTS AND MISCELLANEOUS DEBRIS LEFT WITHIN THE DEMOLITION AREA.
4. REMOVE ALL DEBRIS WITHIN LIMITS OF DEMOLITION.
5. DEMOLISH EXISTING WALL ON NORTH EAST CORNER OF SITE, AND WALL FOUNDATION. BACKFILL TO GRADE WITH CR6. ALL FILL SHALL BE PROPERLY COMPACTED WHEN PLACED.

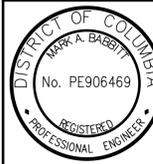
**LEGEND:**

- LOD — LIMITS OF DEMOLITION
- AREA OF DEMOLITION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW	
McKISSACK AND McKISSACK ENGINEERING	
BUZZARD POINT SUPER SALVAGE SITE DEMOLITION	
<b>DEMOLITION PLAN</b>	
<b>DEMOLITION</b>	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M. BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_D002_DEMOLITION FLOOR PLANS



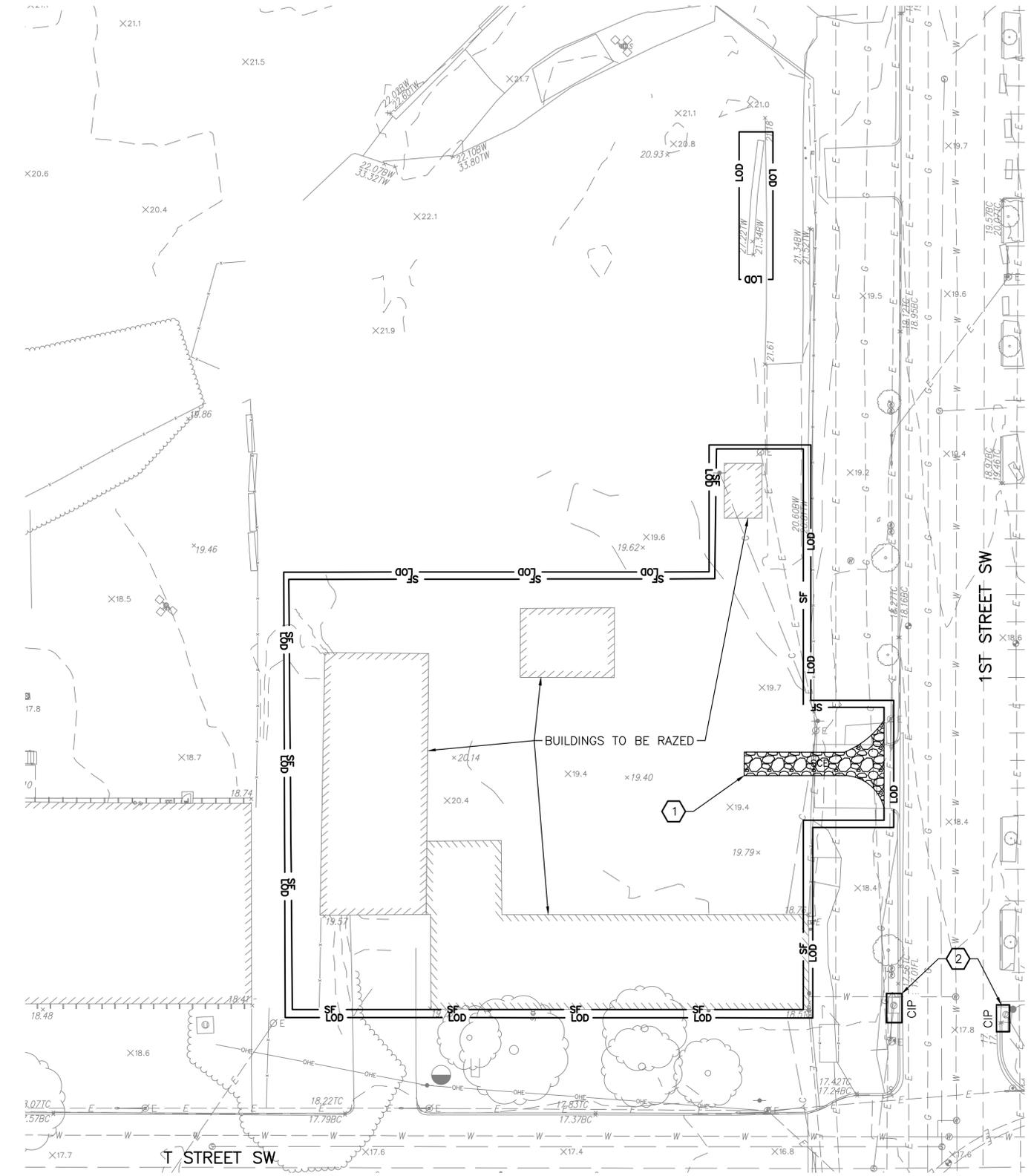
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 Washington, DC 20001  
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**SUPER SALVAGE DEMOLITION PLAN**

SCALE: 1"=20'

REDUCTION VERIFICATION SCALE

Plotted By: JNATHAN HARDEN Date: 11/18/2015 1:48:17 PM  
 Last Saved By: JNATHAN HARDEN Date: 11/18/2015 12:57:18 PM  
 Drawing ID: G:\V12-2600 BUZZARDIS POINT\30 D CAD DOCUMENTS\3-3 PRODUCTION\2 CIVIL\SHEETS\BZPT\_DOEE001\_EROSION AND SEDIMENT CONTROL.DWG



**SUPER SALVAGE EROSION AND SEDIMENT CONTROL PLAN**  
 SCALE: 1" = 20'-0"

JOB	W12-2600	SHEET	9	OF	28
NO.	DESCRIPTION	BY	DATE		

- GENERAL NOTES:**
1. COMPLY WITH EROSION CONTROL NOTES ON DRAWING DOEE002.
  2. FOR EROSION AND SEDIMENT CONTROL DETAILS SEE DRAWING DOEE002.
  3. HAY BALES MAY BE REQUIRED DEPENDING ON UNKNOWN GROUND CONDITIONS

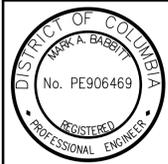
- CODED NOTES:**
- ① STABILIZED CONSTRUCTION ENTRANCE
  - ② CURB INLET PROTECTION

- LEGEND:**
- SF — SILT FENCE
  - ▨ STABILIZED CONSTRUCTION ENTRANCE
  - LOD — LIMIT OF DISTURBANCE
  - CIP CURB INLET PROTECTION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

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PUBLIC SPACE REVIEW	
McKISSACK and McKISSACK ENGINEERING	
BUZZARD POINT SUPER SALVAGE SITE DEMOLITION	
<b>EROSION AND SEDIMENT CONTROL PLAN</b>	
<b>DEMOLITION</b>	
SCALE	DRAWN CEC
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SYSTEM	SUBMITTED M. BABBITT
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DATE	JULY 2015
CADD FILE	BZPT_DOEE001_EROSION AND SEDIMENT CONTROL



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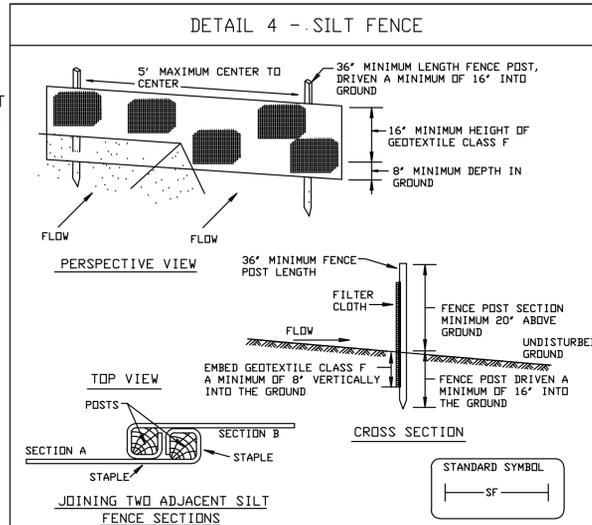
REDUCTION VERIFICATION SCALE

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DOEE001

**STANDARD EROSION CONTROL NOTES**

1. FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1); AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPIILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (o)].
2. ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6].
3. CONTACT DOEE INSPECTIONS (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 503.7 (a)].
4. A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15].
5. ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7].
6. STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (a)].
7. STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (b)].
8. PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5].
9. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (a)].
10. REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (b)].
11. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AND DEMOLITION AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (b.1, b.2)].
12. FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (b)].
13. POST A SIGN ON SITE THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THIS SIGN MUST BE IN PLAIN VIEW OF AND READABLE BY THE PUBLIC AT A DISTANCE OF TWELVE FEET (12 FT). THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. THE SIGN WILL PROVIDE DOEE'S TELEPHONE NUMBER (202-535-2977) AND E-MAIL ADDRESS. [21 DCMR § 543.22].
14. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (a) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (b) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (c) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (a) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (b) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION. DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547].

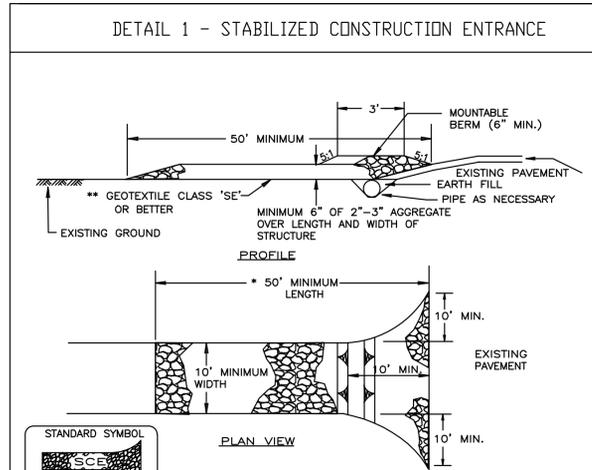


**Construction Specifications**

1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:  

Tensile Strength	50 lbs/in (min.)	Test: ASTM D-4595
Tensile Modulus	20 lbs/in (min.)	Test: ASTM D-4595
Flow Rate	0.3 gal/ft <sup>2</sup> /minute (max.)	Test: ASTM D-5141
Filtering Efficiency	75% (min.)	Test: ASTM D-5141
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 30% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCE CONSERVATION SERVICE  
PAGE 8-5-3  
WATERSHED PROTECTION DIVISION  
DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH



**Construction Specification**

1. Length - minimum of 50' (\*30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\*The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required. The mountable berm is required on all SCEs not located at a high spot.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

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PAGE A-1-3  
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**EROSION & SEDIMENT CONTROL DETAILS**

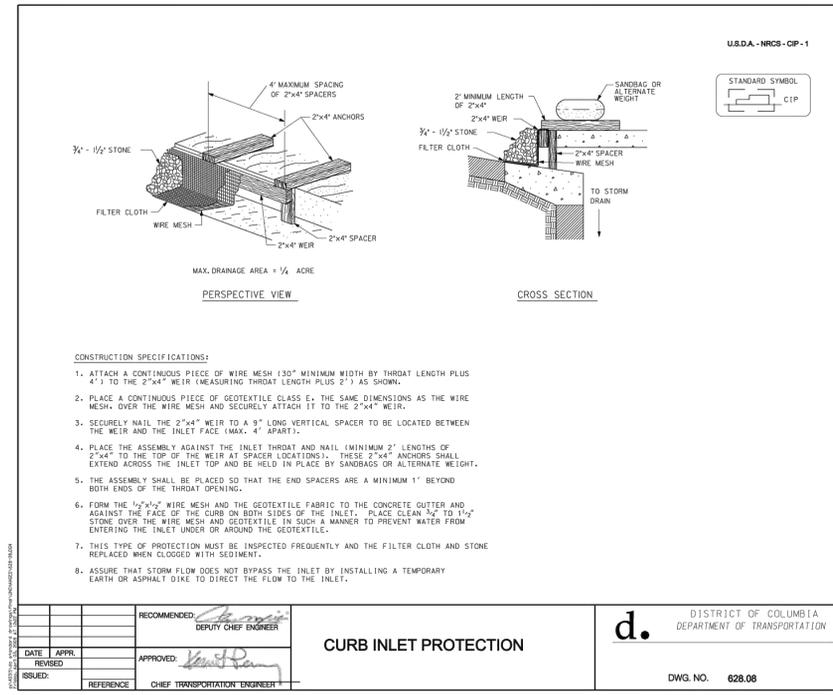
**SILT FENCE**

**Silt Fence Design Criteria**

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCE CONSERVATION SERVICE  
PAGE 8-5-4  
WATERSHED PROTECTION DIVISION  
DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH



**NOTE:**  
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<b>PUBLIC SPACE REVIEW</b>			
	McKISSACK AND McKISSACK ENGINEERING		
<b>BUZZARD POINT SUPER SALVAGE SITE DEMOLITION</b>			
<b>EROSION CONTROL DETAILS</b>			
<b>DEMOLITION</b>			
SCALE	DRAWN	CEC	
INTERCEPTOR	CHECKED	JUH	
SYSTEM	SUBMITTED	M BABBIT	
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_DOEE002_EROSION AND SEDIMENT CONTROL DETAILS		

**DISTRICT OF COLUMBIA**  
MARK A. BABBITT  
No. PE906469  
REGISTERED PROFESSIONAL ENGINEER

**McKissack & McKissack**  
901 K Street, NW, Suite 600  
Washington, DC 20001  
www.mckissackdc.com

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DOEE002

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Drawing ID: G:\V12-2600 BUZZARD POINT\30 D CAD DOCUMENTS\3-3 PRODUCTION\2 CIVIL\SHEETS\BZPT\_DOEE002\_EROSION AND SEDIMENT CONTROL DETAILS.DWG

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL ALERT THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OPERATION AND SHALL ASCERTAIN THE LOCATION OF NEARBY UNDERGROUND UTILITIES. NO EXCAVATION IS PERMITTED UNTIL THE LOCATION OF UTILITIES ARE MARKED.
2. THE CONTRACT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND SHALL OBTAIN THE NECESSARY PERMITS PRIOR TO DEMOLITION.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE BEEN ESTABLISHED BASED ON INFORMATION FROM RECORD AND CONTRACT DRAWINGS OF PAST AND PRESENT PROJECTS, TEST TRENCHES, AND FIELD SURVEYS. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY DMPED/DGS/McKISSACK & McKISSACK OF ANY CONFLICT UPON EXCAVATION AT ANY AND ALL SUCH LOCATIONS.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, WORK AREA, MATERIAL, EQUIPMENT STORAGE, AND FIELD OFFICES MUST BE CONFINED TO THE DESIGNATED SPACES AS INDICATED ON THE DRAWINGS.
5. EXISTING SITE CONDITIONS IN OTHER AREAS (SUCH AS CONTOURS, ELEVATIONS, ROADWAY AND BUILDING LOCATIONS, ETC.) ARE BASED ON INFORMATION FROM RECORD DRAWINGS AND PARTIAL FIELD SURVEYS. CONTRACTOR TO VERIFY ALL LOCATIONS IN THE FIELD.
6. TEST TRENCHES FOR THE PURPOSE OF EXPOSING AND RECORDING THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND DUCTBANKS ARE REQUIRED PRIOR TO START OF DEMOLITION.
7. CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED PRIOR TO DEMOLITION.
8. EXISTING AND MODIFIED DATA SHOWN ON THE DRAWINGS SUCH AS STATIONS, DIMENSIONS, CONTOURS AND ELEVATIONS ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND VERIFYING ALL SITE CONDITIONS AND IS RESPONSIBLE FOR ALL CONTENT SHOWN AND NOT SHOWN EXCEPT WERE NOTED.
10. CONTRACTOR SHALL SUBMIT AND EXECUTE A DUST CONTROL PLAN OUTLINING PROTOCOLS AND PROCEDURES FOR THE SPRAYING OF DUST PILES, CONTAINMENT OF FUGITIVE DUST, CONTINUOUS DUST MONITORING AND APPROPRIATE ADJUSTMENT MEASURES TO ACCOMMODATE CHANGES IN ENVIRONMENTAL CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS AIR MONITORING DURING DEMOLITION.

SYMBOLS	
DESCRIPTION	EXISTING
LIGHT POLE	⊙ LP
ELECTRICAL MANHOLE	⊕
COMMUNICATIONS MANHOLE	⊕ OR ⊕
CITY WATER VALVE CASING	⊕ W
STORM SEWER MANHOLE	⊕ D
SANITARY SEWER MANHOLE	⊕ S
CATCH BASIN	□ CB
UTILITY POLE	⊕
CURB & GUTTER	====
CHAIN LINK FENCE	— X —
W BEAM GUIDERAIL	— I —
GAS LINE	— G —
ELECTRICAL LINE	— E —
WATER LINE	— W —
OVERHEAD ELETRICAL	— OHE —
TREE LINE	~~~~

**ABBREVIATIONS:**

- ABAN ABANDONED
- ASC AMERICAN SURVEYING CONSULTANTS
- ASL ALTERNATE SLUDGE (SPARE LINE)
- BIT BITUMINOUS
- BL BASELINE
- BLDG BUILDING
- BW BACK OF WALK
- CB CATCH BASIN
- CCJM C.C. JOHNSON AND MALHOTRA
- CG CHANGE OF GRADE
- CL CHLORINE
- CLS CHLORINE SOLUTION
- CLF CHAIN LINK FENCE
- C&G CURB AND GUTTER
- CSMH COMMUNICATIONS SYSTEM MANHOLE
- COMM COMMUNICATIONS
- CRS CHEMICAL RECEIVING STATION
- CW CITY WATER
- DB DUCT BANK
- D DRAIN
- DI DROP INLET
- DIP DUCTILE IRON PIPE
- E EAST
- ELEC ELECTRIC
- EL/ELEV ELEVATION
- EMH ELECTRIC MANHOLE
- ETR EXISTING TO REMAIN
- FF FIRST FLOOR
- FM FORCE MAIN
- FT FEET
- GPR GROUND PENETRATING RADAR
- HPNG HIGH PRESSURE NATURAL GAS
- HPT HIGH POINT
- IN INCH
- INS INSERTION
- INV INVERT
- LC LENGTH OF CURVE
- LP LIGHT POLE
- LPT LOW POINT
- LT LEFT
- MG MEET GRADE
- MH MANHOLE
- MISC MISCELLANEOUS
- MON MONUMENT
- MS MULTIPURPOSE SLUDGE
- N NORTH
- N/A NOT APPLICABLE
- NIC NOT IN CONTRACT
- OMD OFFICE MANUAL DRAWING
- PC POINT OF CURVE
- PCC PORTLAND CEMENT CONCRETE
- PCCP PRESTRESSED CONCRETE CYLINDER PIPE
- DRN PROCESS DRAIN
- PGL PROFILE GRADE LINE
- PI POINT OF INTERSECTION
- PM PROCESS MANHOLE
- POC POINT ON CURVE
- POT POINT ON TANGENT
- PROP PROPOSED
- RPT POINT OF TANGENCY
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RCP REINFORCED CONCRETE PIPE
- RCPP REINFORCED CONCRETE PRESSURE PIPE
- RD ROOF DRAIN
- REF ROOF EXHAUST FAN
- RR RAILROAD
- RT RIGHT
- S SOUTH
- SMH SANITARY SEWER MANHOLE
- SRPS SITE RUNOFF PUMP STATION
- STMH STORM SEWER MANHOLE
- SD STORM DRAIN
- SDBC DUCT BANK GROUND WIRE
- STA STATION
- TC TOP OF CURB
- TEL TELEPHONE
- TOC TOP OF CASTING
- TOS TOP OF SLAB
- TYP TYPICAL
- VAR VARIABLE
- VC VITRIFIED CLAY
- W WEST
- WMH WATER MANHOLE
- X-DRAIN CROSS DRAIN
- YH YARD HYDRANT

JOB	W12-2600	SHEET	11	OF	28
NO.	DESCRIPTION	BY	DATE		

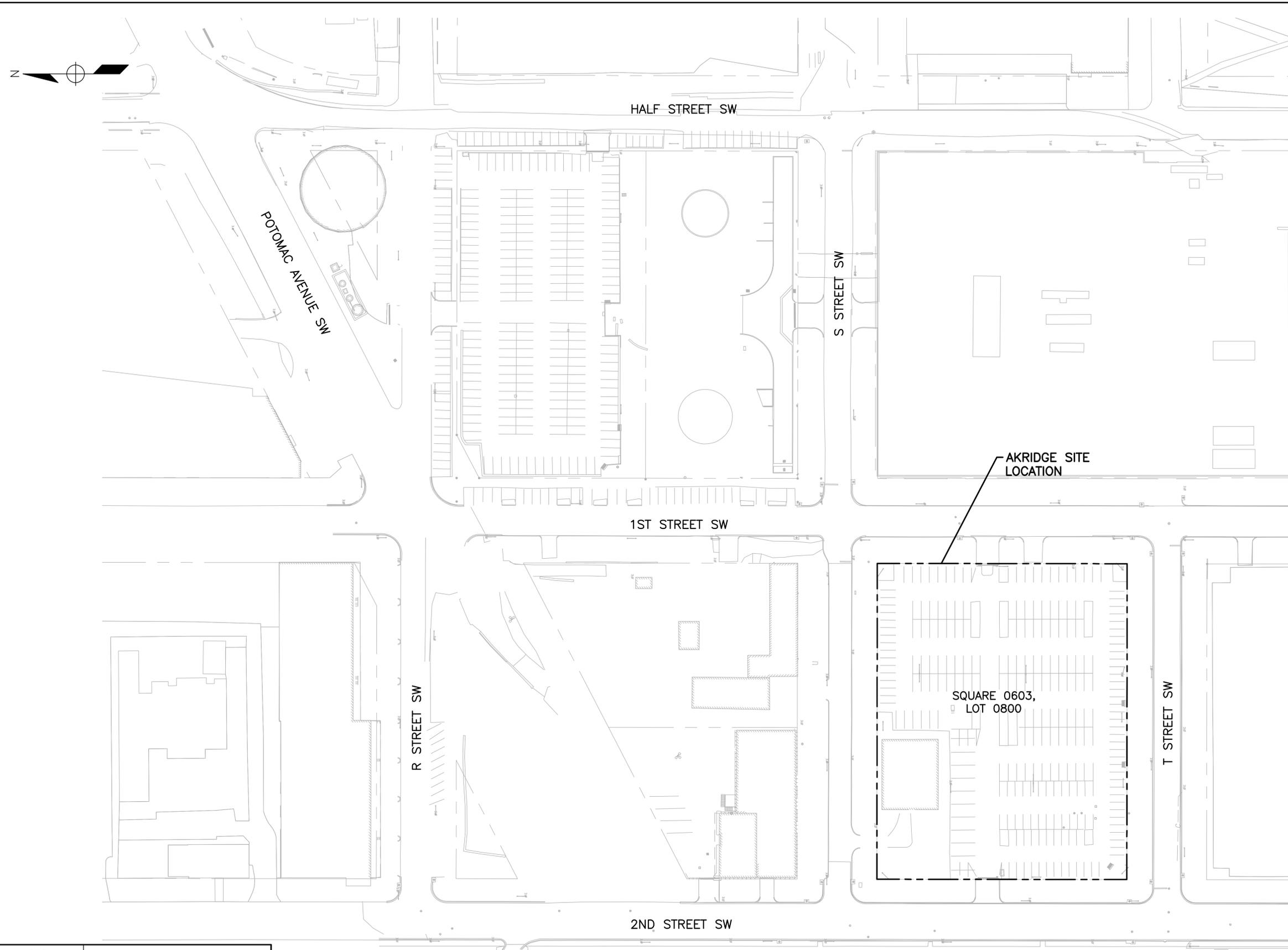
NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION			
<b>NOTES AND ABBREVIATIONS</b>			
<b>DEMOLITION</b>			
SCALE		DRAWN	CEC
INTERCEPTOR		CHECKED	JUH
SYSTEM		SUBMITTED	M BABBITT
SURVEYED			
DATE	JULY 2015	RECOMMENDED	
CADD FILE	BZPT_D001_DEMOLITION_ABBREVIATION		



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JOB W12-2600 SHEET 12 OF 28

NO.	DESCRIPTION	BY	DATE

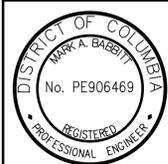
- GENERAL NOTES:**
1. SECOND AND S STREETS, SW. SQUARE 0603, LOT 0800 IS REPORTEDLY OWNED BY AKRIDGE.
  2. A PREFABRICATED METAL BUILDING IS CONSTRUCTED ON THE LOT WHICH IS BEING USED FOR TRUCK PARKING AND A WOOD STORAGE WAREHOUSE.
  3. THE WAREHOUSE BUILDING CONSISTS OF AN OFFICE AND A RESTROOM. MACHINERY AND ROAD TREATMENT SUPPLIES ARE STORED IN THE WAREHOUSE.
  4. DEMOLITION WORK SHALL COMMENCE ONLY AFTER THE LOCATION AND CAPPING OF UNDERGROUND UTILITIES AND THE REMOVAL OF OVERHEAD UTILITIES SERVICING THE BUILDINGS TO BE DEMOLISHED.

NO.	DESCRIPTION	BY	DATE

**PUBLIC SPACE REVIEW**  
 McKISSACK AND McKISSACK  
 ENGINEERING  
 BUZZARD POINT  
 AKRIDGE WAREHOUSE DEMOLITION  
**SITE LOCATION PLAN**

DEMOLITION	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_0001_DEMOLITION_SITE_PLAN

**AKRIDGE SITE**  
 SCALE: 1"=50'



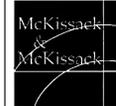
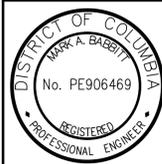
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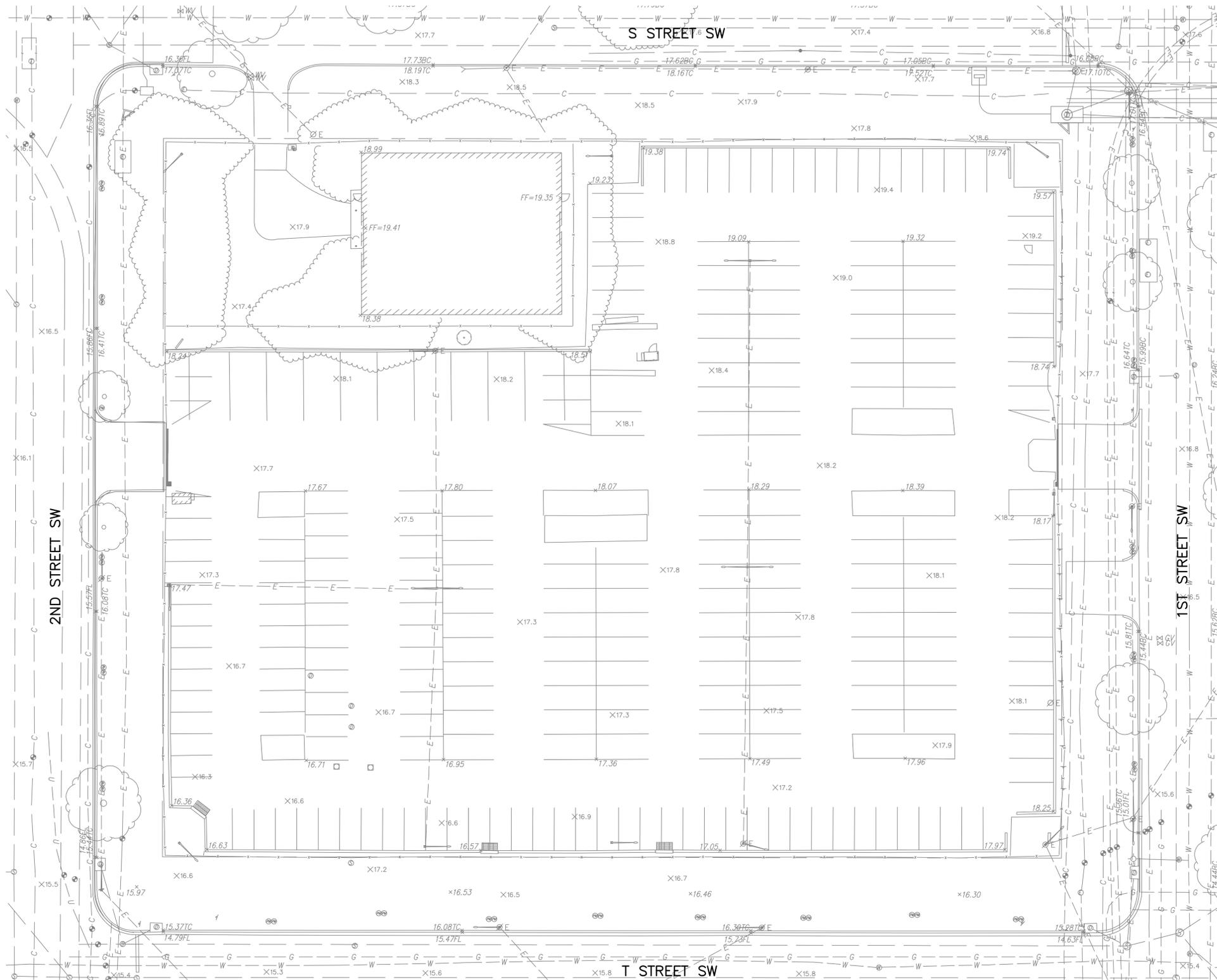
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REDUCTION  
 VERIFICATION  
 SCALE

10 INCHES



**EXISTING UTILITY PLAN**  
 SCALE: 1"=20'-0"

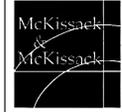
JOB	W12-2600	SHEET	13 OF 28
NO.	DESCRIPTION	BY	DATE

NO.	DESCRIPTION	BY	DATE

PUBLIC SPACE REVIEW	
McKISSACK AND McKISSACK ENGINEERING	
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION	
EXISTING UTILITIES	
DEMOLITION	
SCALE	DRAWN CEC
INTERCEPTOR	CHECKED JUH
SYSTEM	SUBMITTED M. BABBITT
SURVEYED	
DATE	JULY 2015
CADD FILE	BZPT_D002_DEMOLITION UTILITY PLANS

D003

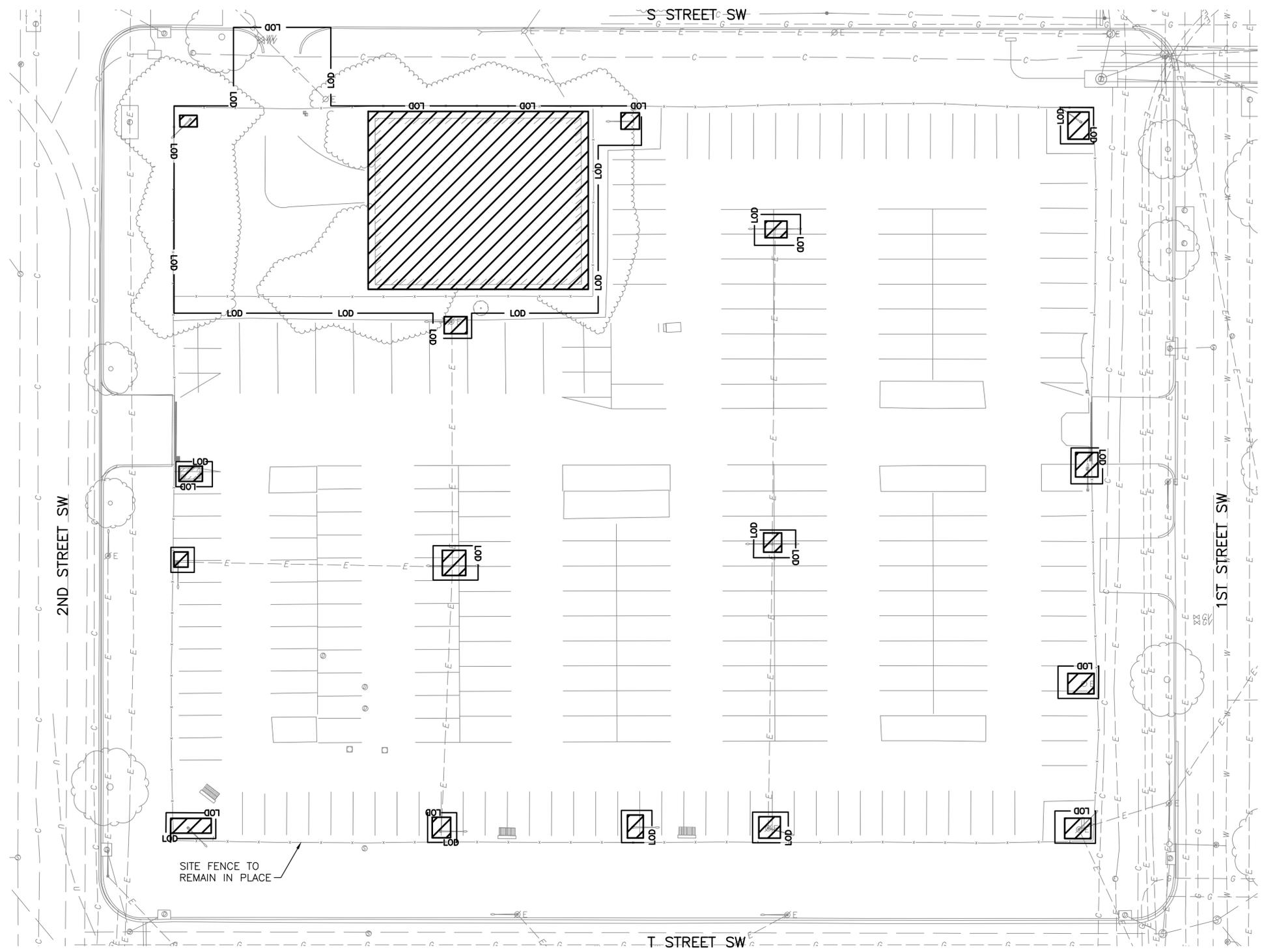
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**AKRIDGE DEMOLITION PLAN**  
 SCALE: 1"=20'-0"

**ENVIRONMENTAL INVENTORY**

THE FOLLOWING IS FROM THE RESULTS FROM THE JULY 28, 2015 HAZARDOUS MATERIAL SURVEY CONDUCTED BY ECS MID-ATLANTIC, LLC:

**ASBESTOS-CONTAINING MATERIALS:**

- WHITE INTERIOR WINDOW GLAZE - 2% CHYRSOTILE
- EXTERIOR EXTERIOR WHITE SIDING CAULK - 3% CHYRSOTILE

**SRF LEAD BASED PAINT SUMMARY:**

- EXTERIOR WAREHOUSE METAL GRAY DOOR CASING - Pb 1.36
- WAREHOUSE OFFICE BROWN WOOD WINDOW SASH - Pb 5.00

JOB	W12-2600	SHEET	14	OF	28
NO.	DESCRIPTION	BY	DATE		

**DEMOLITION NOTES:**

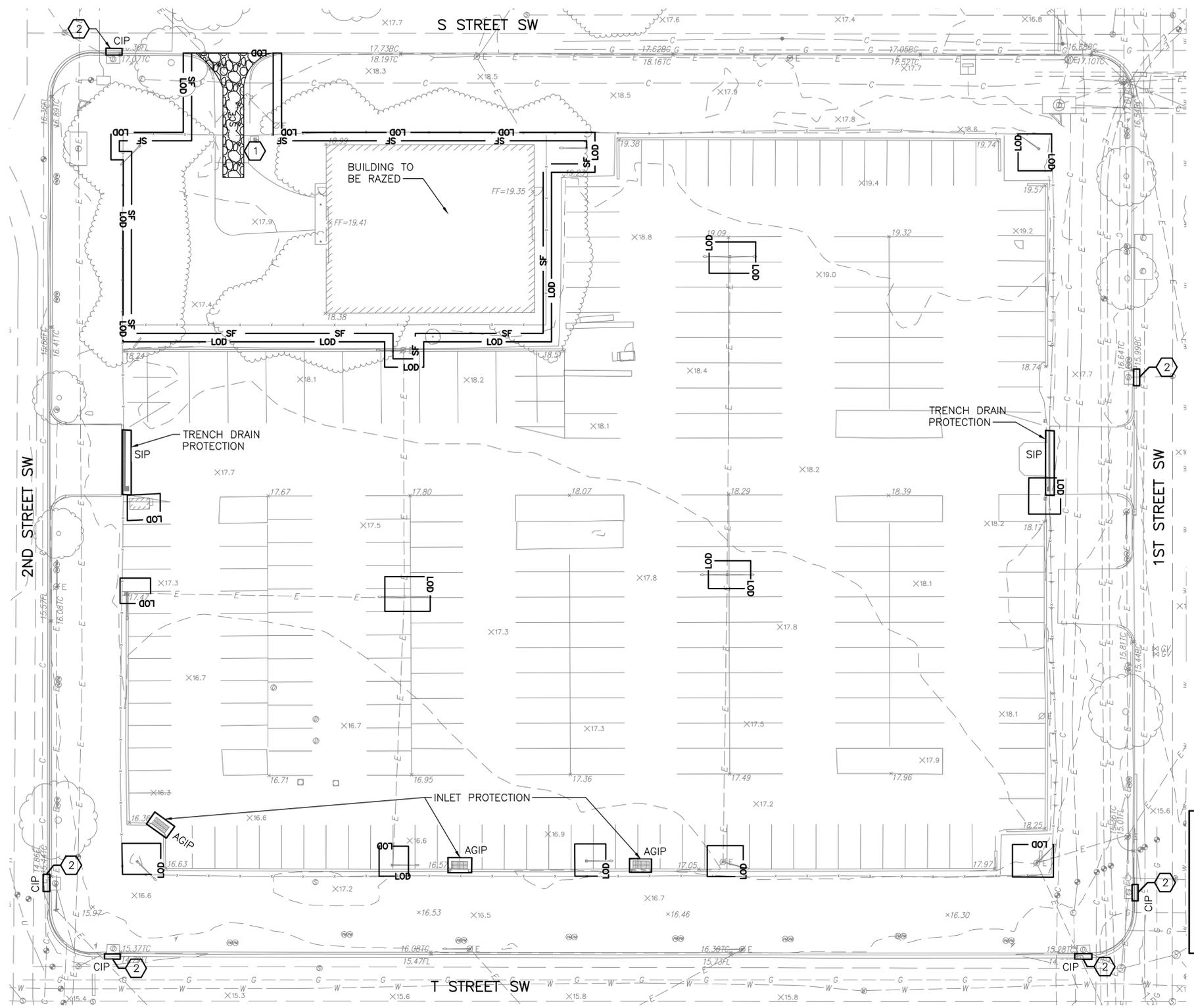
1. DEMOLISH, COMPLETELY, DOWN TO GRADE EVERYTHING WITHIN THE AREA OF DEMOLITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE AND SAFE REMOVAL OR REMEDIATION OF ANY HAZARDOUS MATERIALS FOUND IN THE DEMOLITION LIMITS REPRESENTED IN THE DEMOLITION DRAWINGS INCLUDING BUT NOT LIMITED TO THOSE LISTED IN THE ENVIRONMENTAL INVENTORY ON THIS PAGE.
3. REMOVE ALL EXISTING SURFACE MOUNTED FIXTURES, WIRING OR ANY ATTACHMENTS AND MISCELLANEOUS DEBRIS LEFT WITHIN THE DEMOLITION AREA.
4. REMOVE ALL DEBRIS WITHIN THE LIMITS OF DEMOLITION.
5. REMOVE ALL EXISTING LIGHT POLES AND LIGHT POLE FOUNDATIONS. BACKFILL WITH CR6 TO EXISTING GRADE. ALL FILL SHALL BE PROPERLY COMPACTED WHEN PLACED.

**LEGEND:**

- STABILIZED CONSTRUCTION ENTRANCE
- LIMITS OF DEMOLITION
- AREA OF DEMOLITION

**NOTE:**  
 AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
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BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION			
<b>DEMOLITION PLAN</b>			
<b>DEMOLITION</b>			
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_D002_DEMOLITION FLOOR PLANS	RECOMMENDED	



**AKRIDGE EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1" = 20'-0"

JOB	W12-2600	SHEET	15 OF 28
NO.	DESCRIPTION	BY	DATE

**GENERAL NOTES:**

1. COMPLY WITH EROSION CONTROL NOTES ON DRAWING DDOE002.
2. FOR EROSION AND SEDIMENT CONTROL DETAILS SEE DRAWING DDOE002.

**CODED NOTES:**

- 1 STABILIZED CONSTRUCTION ENTRANCE
- 2 CURB INLET PROTECTION

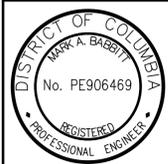
**LEGEND:**

- SF — SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- LOD — LIMIT OF DISTURBANCE
- CIP CURB INLET PROTECTION
- AGIP AT GRADE INLET PROTECTION

**NOTE:**  
AT THE END OF THE DAY OR WHEN DEMOLITION AND ALL LAND DISTURBING ACTIVITIES ARE COMPLETE, THE CONTRACTOR IS TO STABILIZE ALL DISTURBED AREAS WITH A UNIFORM (EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ON ALL UNPAVED AREAS, OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS PROPERLY COMPACTED STONE FILL, GEOTEXTILES, ETC.).

NO.	DESCRIPTION	BY	DATE
PUBLIC SPACE REVIEW			
McKISSACK AND McKISSACK ENGINEERING			
BUZZARD POINT AKRIDGE WAREHOUSE DEMOLITION			
<b>EROSION AND SEDIMENT CONTROL PLAN</b>			
<b>DEMOLITION</b>			
SCALE	INTERCEPTOR	DRAWN	CEC
SYSTEM	SURVEYED	CHECKED	JUH
DATE	JULY 2015	SUBMITTED	M. BABBITT
CADD FILE	BZPT_DDOE001_EROSION AND SEDIMENT CONTROL	RECOMMENDED	

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DOEE001