

GOVERNMENT OF THE DISTRICT OF
COLUMBIA DEPARTMENT OF GENERAL
SERVICES



INVITATION FOR BID (IFB)

CONSTRUCTION SERVICES FOR ENGINE HOUSE NO. 2 RENOVATIONS AND
UPGRADES

Solicitation Number: DCAM-19-CS-IFB-0005

Addendum No. 2


Issued: June 14, 2019

This Addendum No. 2 is being issued and is effective as of the date shown above. Except as modified hereby, the Invitation for Bid (IFB) remains unmodified.

Item #1: Due Date for Questions: The Due Date for Questions is hereby changed from June 14, 2019 at 4:00 p.m. to June 20, 2019 at 4:00 p.m.

Item #2: Attachment J1 - Scope of Work/Drawings & Specifications for Engine House 2: Attachment J1 - Scope of Work/Drawings & Specifications for Engine House 2 has been updated as per revision dated June 12, 2019 referenced in the drawings– See attached (**Exhibit 1**).

The updated Design detail for Captive Aire Hood (**Exhibit 2**), and Kitchen Exhaust & Make up Air Plan (**Exhibit 3**) as per revision dated June 12, 2019 are attached.

By: 

Franklin Austin, CPPB, CPM
Contracting Officer

Date: 

- End of Addendum No. 2

EXHIBIT 1

**SCOPE OF WORK/ DRAWINGS & SPECIFICATIONS FOR ENGINE HOUSE NO. 2
(ATTACHMENT J1)**

[ATTACHMENT WILL APPEAR ON THE FOLLOWING PAGE]

Attachment

J.1.1

SOW -Standard Work Requirement (SWR) and Specific Room Requirement (SRR)

The Contractor shall complete the following **Standard Work Requirements (SWR)** in all individual rooms where construction activities are noted to occur in Specific Room Requirement (SRR) section.

- (a) Salvage and re-use/re-mount any existing ceiling speakers
- (b) Salvage and re-use/clean existing sprinkler heads; replace escutcheons
- (c) Salvage and re-use/re-mount existing fire alarm devices AND SMOKE DETECTORS. REPLACE SMOKE DETECTORS' BATTERIES IF NOT CEILING HARDWIRED.
- (d) Demo and dispose of drop ceiling grid and tile
- (e) Demo and dispose of existing ceiling light fixtures
- (f) Demo and dispose of existing ceiling HVAC diffusers and registers
- (g) Furnish and Install new ceiling 2'x4' grid and tile; **Armstrong Prelude ML Grid (White) and Armstrong Ceramanguard Fine Fissured (White).**
 - 1. New ACT installation must return all existing and new interrelated items (sprinkler heads, speakers, etc.) to practically the same locations as presently found
 - 2. Functionality is not to be impaired during or after construction
 - 3. Ceiling height shall accommodate new recessed light fixtures, coordinate in the field. Contractor to seek DGS PM approval of existing ceiling height changes before proceeding with the work. Any rework for failure to seek DGS PM approval first will be at Contractor's expense.
 - 4. Contractor shall make accommodations in their scope of work for lowering, modifying and adjusting existing duct work supply, return, exhaust drops to new ceiling heights
- (h) Furnish and Install new 2'x4' ceiling lights. The Contractor is responsible for a 1 to 1 light fixture replacement in the rooms that are part of this project, a reflected ceiling plan will not be provided. LED LIGHTS MUST BE ABLE TO BE DIMMABLE.
- (i) Furnish and install new HVAC diffusers and registers, the Contractor is responsible for a 1 to 1 register replacement in the rooms that are part of this project, a reflected ceiling plan will not be provided. Contractor responsible for making sure all diffusers and registers are connected to ducts in final installations.
 - 1. Relocation of ductwork if necessary, to maintain the proper supply and return requirements, this includes lowering the elevation of the registers to fall in line with the new ceiling grid elevation, as needed
- (j) Furnish and install (1) coat primer and (2) coats finish paint on all walls and hard ceilings
 - 1. For hard walls and ceilings, skim & patch prep for paint to include any existing conditions and holes created during demolition
- (k) Furnish and install new (1) coat primer (shop applied) and (2) coats of direct to metal finish paint to doors & frames
- (l) Furnish and install one trash can and one recycle can in each room; Kitchen, Sitting/Dining, and Lockers.

General Work Notes:

- (a) For existing VCT flooring to remain or new VCT flooring installations, Contractor to include stripping of existing floor wax and installation of (3) coats applications of wax/sealer.
- (b) Where new doors are called to be installed, Contractor to Furnish & Install new commercial metal door frames, metal doors, hardware, closures, silencers and kick-plates. Prep doors as required for electronic strikes, card readers, etc. if called out.
 - 1. Furnish & install Best hardware on all new keyed doors with small format interchangeable cores and keys. It is the Contractors responsibility to coordinate keying and biting requirements with DGS/Facility. With each new keyway (3) keys should be provided to DGS/Facility.
- (c) Where new Access Control devices are called to be installed (SEE SECTION SRR):
 - 1. Card reader (1 card reader per door) - Card readers must support legacy FACILITY cards, new FACILITY cards, and be FIPS-201 complaint. Provide and install GE multitechnology transition readers that are APL approved.
 - 2. Manufacturer: GE Multitechnology Transition Readers APL Approved (no exceptions)
 - 3. Request to exit motion sensor – specifically designed for detecting exiting through a door from the secure area to a non-secure area. Include built-in timers (up to 60 second adjustable timing), door monitor with sounder alert, internal vertical pointability coverage, 12VDC or 24VDC power and selectable relay trigger with fail safe/fail secure modes.
 - 4. Manufacturer: Detection Systems DS-160 or approved equal
 - 5. Door position switch - Door position magnetic reed contact switches specifically designed for use in commercial door applications. On recessed models the contact and magnetic housing snap - lock into a 1" diameter hole. Provide SPDT, N/O switches with optional Rare Earth Magnet installation on steel doors with flush top channels.
 - 6. Manufacturer: Sentrol or approved equal
 - 7. Electronic strike
 - 8. HES, Securitron, Schlage, or approved equal
 - 9. Contractors scope is inclusive of all cabling, integration and coordination related to electronic access control
 - 10. Contractor shall be responsible for furnishing and installing all additional hardware for complete operation of the door to include bottom strike, top strike, closures, hinges, pivots, flush bolts, kick plates, armor plates, overhead stops and holders, seals and gaskets, thresholds, silencers, wall bumpers, floor mounted stops and small format interchangeable cores
 - 11. Three (3) keys shall be provided with each keyway

(d) HVAC PM & Maintenance – Contractor will be responsible for the PM of ALL HVAC equipment on site including BELOW:

- o Duct cleaning
- o Belt Change
- o Filter Change
- o Chemical cleaning of all Air Handlers and Condensing Units
- o Checking all wires, mechanical, and electrical connections.
- o Checking AMP draws on all motors and compressors,
- o Checking refrigerator pressure @ each unit
- o Check/clear condensate lines
- o Grease all bearings/motors
- o SEE ATTACHMENT J.1.5 FOR MECHANICAL SCHEDULE

(e) Upgrade all Purvis System ALERTING devices to LED. DATANET MUST PERFORM THESE SERVICES; PLEASE CONTACT ED NATHAN AT MOBILE 240-481-4757 AND EMAIL ED.NATHAN@DC.GOV.

(f) Final, deep clean all spaces in this scope of work

(g) **ALL KITCHEN EQUIPMENT MATERIAL NEEDS TO BE ON- HAND AND READY FOR INSTALLATION BEFORE KITCHEN DEMOLITION OCCURS TO MINIMIZE DOWNTIME. TEMPORARY KITCHEN MUST BE OPERATIONAL PRIOR TO EXISTING KITCHEN DEMOLITION.**

The following **Specific Room Requirements** (SRR) section outlines more detailed scope and/or unique scope descriptions that is not included in Standard Work Requirements (SWR) section above. Conflicts between SWR and SRR information shall be clarified by DGS PM, but greater quality, greater quantity rules shall apply in all cases and shall be included in Base Bid.

1. Living-Dining Room

- F&I new ceiling grid, tile, lights, diffusers, registers, etc. Maximize ceiling height; Review with DGS PM before installation.
- MAINTAIN IN PLACE/PROTECT/INCORPORATE THE EXISTING A/C DISTRIBUTION CASSETTES IN THE NEW CEILING
- REPLACE (8) EXISTING 6-INCH CAN LIGHTS WITH LED FIXTURES IN KIND. REPLACE ASSOCIATED CONTROL SWITCH.

2. Existing Kitchen

- Salvage existing kitchen equipment TO BE UTILIZED FOR TEMPORARY KITCHEN, AND AT COMPLETION OF JOB, deliver BALANCE to FEMS DC Warehouse.
- DEMO EXISTING DRYWALL CEILING. EXISTING CEILING HEIGHT TO REMAIN. REUSE EXISTING STRUCTURE TO SET NEW CEILING GRID HEIGHT FOR NEW ACT CEILING INSTALLATION IN KITCHEN AREA.
- LEAVE EXISTING 2-FOOT BULKHEAD SOFFIT. INSTALL NEW ACT

CEILING GRID TO MATCH SITTING ROOM CEILING FINISH TO REAR-EXIT KITCHEN DOOR.

- F&I new ceiling grid, tile, lights, diffusers, registers, etc. Review with DGS PM before installation
- NEW KITCHEN AREA - F&I (4) NEW 2X4 LED LIGHT FIXTURES WITH ASSOCIATED SWITCH.
- F&I new kitchen layout, appliances, etc. Reference Alto-Harley and CaptiveAire drawings IN ATTACHMENT J.1.2.
- F&I new Exhaust Hood SYSTEM. THE SYSTEM COMPONENTS INCLUDE: KITCHEN HOOD, EXHAUST FAN, MAKE-UP AIR SYSTEM, CONTROL PANEL, ANSUL SYSTEM, AND EMERGENCY SHUT-OFF. CONTRACTOR RESPONSIBLE FOR ALL FINAL UTILITY CONNECTIONS TO ENSURE PROPER OPERATION OF SYSTEM AND DCRA INSPECTION.
- THIS IS A DESIGN BUILD ITEM WHICH REQUIRES COORDINATION AND CALCULATIONS BETWEEN CAPTIVEAIRE AND THE HVAC SUBCONTRACTOR TO DETERMINE FINAL SIZES OF BOTH THE EXHAUST AND MAU DUCTING & ASSOCIATED MECHANICAL AND OTHER HARDWARE. REFERENCE MECHANICALNOTES PAGE.

3. Pantry

- Demo existing CMU wall between existing kitchen and CMU wall with door and frame. Patch walls and floors as required. Reference RFP Notes Page.
- F&I new ceiling grid, tile, lights, diffusers, registers, etc. Review with DGS PM before installation.
- F&I NEW 6X6 TERRA COTTA FLOORING AND ASSOCIATED COVE BASE TO MATCH EXISTING MATERIAL IN KITCHEN.
- REMOVE DUCTWORK ASSOCIATED WITH KEX-EXF-8 (IN THE ELECTRIC ROOM) THAT CURRENTLY TIES INTO THE EXISTING DUCTWORK ABOVE THE PANTRY CEILING. CAP THE PORT WHERE THIS ATTACHES TO.

4. LAUNDRY/REFRIDGERATOR INSTALLATION:

- CONTRACTOR TO F&I THE FOLLOWING EQUIPMENT IN THE LAUNDRY/REFRIDGERATOR AREA. CONTRACTOR RESPONSIBLE FOR REPLACEMENT OF EXISTING DRYER EXHAUST VENTILATION DUCT.
 - F&I four (4) shift refrigerators; Frigidaire FFHT2032T Stainless
 - F&I one (1) washer machine; Frigidaire FFTW4120SW
 - F&I one (1) dryer; Frigidaire FFRE4120SW

Attachment J.1.2
Commercial Kitchen Drawings and Specifications

1. See attached Alto-Hartley, Inc drawings dated **12/07/2018** and Specifications/Cut Sheets and CaptiveAire Kitchen Hood Drawings and Specifications/Cut Sheets dated **06/11/2019**.

Additional Alto-Hartley Purchase Items:

- F&I four (4) above refrigerator cabinets. Eagle Group WCH-30 with door locks.
2. Additional SOW and/or clarifications
 - F&I new H/C water shut off valves; ¼ turn ball valve devises.
 - F&I new Gas line shut off valves; ¼ turn ball valve devises.
 - GC required for coordinating all MEP connections to kitchen equipment between vendors.
 3. Kitchen design inquiries and/or F&I pricing request shall be addressed to:

Alto-Hartley
4601-A Eisenhower Ave. Alexandria VA 22304
Attn: Pablo Raya; 703.883.1448
PRaya@altohartley.com

NOTE: GC Base Bids must be 100% based on Alto-Hartley design and specifications/cut sheets provided. Substitutions will not be accepted, and all bids will be considered to include specified items whether clarified or not by bidders.

Attachment J.1.3
Non-Commercial Grade Appliances and Contact Information

1. See attached M&M Appliance Specifications and Cut Sheets
 - F&I four (4) shift refrigerators; Frigidaire FFHT2032T Stainless
 - F&I one (1) washer machine; Frigidaire FFTW4120SW
 - F&I one (1) dryer; Frigidaire FFRE4120SW

2. Additional SOW and/or clarifications
 - F&I new H/C water shut off valves; ¼ turn ball valve devises.
 - F&I new Gas line shut off valves; ¼ turn ball valve devises.

3. Equipment inquiries and/or pricing request shall be addressed to:

M & M Appliance Sales & Svc
6201 Blair Rd. NW
Washington, DC 20011
Attn: Sandy Jones, 202-882-7100 x 928
Sandyj@mandmappliance.com

NOTE: GC Base Bids must be 100% based on appliance specifications/cut sheets provided. Substitutions will not be accepted, and all bids will be considered to include specified items whether clarified or not by bidders.

**Attachment
J.1.4
Allowances**

Allowances (DGS Controlled)

NOTE: Allowances are considered additional construction capital to be used at DGS discretion. Allowances are not intended to cover cost of Base Contract work and reasonably inferred work for said Base Contract work. Contractor's Base Bid shall include all services, installations, and cost required to complete the project and systems as if there were no Allowances.

- Additional Temporary Kitchen: \$10k
- Additional MEP Work: \$40k

Allowance Total: \$ 50k.

Attachment J.1.5 Mechanical Schedule

Engine 2									
Location: 500 F St. NW Washington DC 20001			Phone: 202-673-3202						
CONTACT: R&G MECHANICAL: JERRY CIFARELLI, 410-215-1926, RGMECHANICALLLC@GMAIL.COM									
Equipment Type	Name	Model	Serial	Belt	QTY	Size	QTY	Location	
BOILER	WHTR-1	A.O. Smith FSG 75 250	MC03-2331623-250						BOILER RM
BOILER	WHTR-2	STATE/PCES220RTA	0849M000742						BOILER RM
BOILER	BLR-1	SMITHCAST/19SERIES-7	F99-83						BOILER RM
AHU	AHU-1	BRYANT/FBABNF024	0404A80265	DD	1	20X14X1	1		BOILER RM
AHU	AHU-2	TRANE/ L8	K77A12397	B65	1	20X25X2	4		BOILER RM
AHU	AHU-3	TRANE/ N/A		B65	1	20X25X2	10		2ND FL MECH. RM
AHU	AHU-4	TRANE/ TC31	K77A12532	BX95	2	16X25X2	16		2ND FL MECH. RM
EX.FAN	EXF-1	CENTURY/6-330778-02		B96	2				ELEC. RM
EX.FAN	EXF-2								
EX.FAN	EXF-3	TUBEMASTER/H24L	NC131536	AP46	2				BOILER RM
EX.FAN	EXF-4	TRANE/CF18A1SW9CWUBSH	K77B12147	B38	1				BOILER RM
EX.FAN	EXF-5	TRANE/CF16A1SW9CWUBSH	K77B12148	A40	1				BOILER RM
EX.FAN	EXF-6	TRANE/CF18A1SW9CWTHSH	K77B12147	B35	1				BOILER RM
EX.FAN	EXF-7	POWERLINE/20DP8D		DD	1				MECH. RM 2ND FL.
KEX/VEX	KEX-1	TRANE/UI0F2-B1	K77A12273	4L280	1				ELEC. RM
KEX/VEX	VEX-1	CINCI/ HDBI 7		DD	1				DRIVEWALL TO GARAGE
PUMP	BSTR-1	BELL&GOSSETT 100BNEI80	106197	DD	1				BOILER RM
PUMP	BSTR-2	BELL&GOSSETT PR A8 G21	1022 08LF	DD	1				BOILER RM
PUMP	BSTR-3	BELL&GOSSETT PR A8 G21		DD	1				BOILER RM
PUMP	BSTR-4	BELL&GOSSETT HVBNFIM21	102213LF	DD	1				BOILER RM
PUMP	RCP-1	BALDOR/VJMM3211T		DD	1				BOILER RM
PUMP	RCP-2	BALDOR/VJMM3211T	FO402163471	DD	1				BOILER RM
HANGING HEATER/AC	SHTR-1	TRANE/UHPB1021TAA40000000	F14E32535						APPARATUS BAY
HANGING HEATER/AC	SHTR-2	TRANE/UHPB1021TAA40000000	F14E32534						APPARATUS BAY
HANGING HEATER/AC	SHTR-3	TRANE/UHPB1021TAA40000000	F14E32537						APPARATUS BAY
HANGING HEATER/AC	SHTR-4	TRANE/UHPB1021TAA40000000	F14E32540						APPARATUS BAY
HANGING HEATER/AC	SHTR-5	TRANE/UHPB1021TAA40000000	F14E32536						APPARATUS BAY
HANGING HEATER/AC	SHTR-6	TRANE/UHPB1021TAA40000000	F14E32538						APPARATUS BAY
HANGING HEATER/AC	SHTR-7	TRANE/UHSA-0385-8A-AAC	0136-0103-01						ELEC. RM OUTSIDE OF KITCHEN
HANGING HEATER/AC	SHTR-8	TRANE/UHSA-0385-8A-AAC	6F00288						BOILER RM
HANGING HEATER/AC	SHTR-9	TRANE/UHPB1021TAA40000000							EMS APPARATUS BAY
HANGING HEATER/AC	SHTR-10	TRANE/UHSA-0385-8A-AAC	6F01359						2ND FL. MECH. RM
RDTHTR	RDTHTR-1								LAUNDRY STORAGE
RDTHTR	RDTHTR-2								LAUNDRY STORAGE
RDTHTR	RDTHTR-3								LOCKER ROOMS
RDTHTR	RDTHTR-4								CUSTODIAN CLOSET APPARATUS BAY
RDTHTR	RDTHTR-5								BACK ENTRANCE HALLWAY
RDTHTR	RDTHTR-6								TOOL ROOM
RDTHTR	RDTHTR-7	TRANE/H45A002	576M 08689			8X20X1	1		HALLWAY NEAR BREAK RM.
RDTHTR	RDTHTR-8								BATHROOM OUTSIDE OF BREAK RM.
RDTHTR	RDTHTR-9								EMS OFFICE
RDTHTR	RDTHTR-10								BASEMENT STAIRCASE
RDTHTR	RDTHTR-11								2ND FL WOMENS RM
RDTHTR	RDTHTR-12								2ND FL NEXT TO CPU RM
RDTHTR	RDTHTR-13								2ND FL NEXT TO CPU RM
RDTHTR	RDTHTR-14								2ND FL STAFFING OFFICE
RDTHTR	RDTHTR-15								2ND FL EXER. RM
RDTHTR	RDTHTR-16								2ND FL BUNK RM
RDTHTR	RDTHTR-17								2ND FL BUNK RM
RDTHTR	RDTHTR-18								2ND FL DEPUTY'S RM
RDTHTR	RDTHTR-19								DEPUTY'S BUNK RM
RDTHTR	RDTHTR-20								ENGINE OFFICERS BUNK RM
RDTHTR	RDTHTR-21								DEPUTY CHIEF-AIDE BUNK RM
RDTHTR	RDTHTR-22	TRANE/H45A002	576M 08689			8X20X1	1		2ND FL LOCKER RM
RDTHTR	RDTHTR-23								2ND FL SAUNA AREA
RDTHTR	RDTHTR-24								2ND FL SAUNA AREA
RDTHTR	RDTHTR-25								1ST FL CALL CENTER
RDTHTR	RDTHTR-26								R-1 OFFICE 1
RDTHTR	RDTHTR-27								R-1 OFFICE 1
RDTHTR	RDTHTR-28								BREAK RM KITCHEN
WUAC	WUAC-1	LG/LWHD1006RY6	711TAXT24994	DD	1				CHIEF'S AIDE'S RM
WUAC	WUAC-2	LG/LWHD8008RY6	712TATG00921	DD	1				NEXT TO CHIEF'S AIDE'S RM
ACU	ACU-1	BRYANT/561CI018-E	320E23922						BOILER RM
DUCTLESS SPLIT	DSS-1A	FUJITSU/AU9RLF	KUA004046	DD	1				2ND FL BUNK RM
DUCTLESS SPLIT	DSS-1B	FUJITSU/AU9RLF	KUA004044	DD	1				2ND FL BUNK RM
DUCTLESS SPLIT	DSS-2A	FUJITSU/AU9RLF	KUA003555	DD	1				2ND FL BUNK RM
DUCTLESS SPLIT	DSS-2B	FUJITSU/AU9RLF	KUA004002	DD	1				2ND FL BUNK RM
DUCTLESS SPLIT	DSSCU-1	FUJITSU/AOU18RLXF2	LTN 010638	DD	1				2ND FL BUNK RM BALCONY
DUCTLESS SPLIT	DSSCU-2	FUJITSU/AOU18RLXF2	LTN 011528	DD	1				2ND FL BUNK RM BALCONY
DUCTLESS SPLIT	DSS-3	SANYO/KS1872		DD	1				CPU MEETING RM
DUCTLESS SPLIT	DSS-4	PANASONIC/CS-KE36NKKU	20623	DD	1				CPU MEETING RM
DUCTLESS SPLIT	DSSCU-3	SANYO/C1872	256574	DD	1				CPU MEETING RM BALCONY
DUCTLESS SPLIT	DSSCU-4	PANASONIC/CU-KE36NKKU	3021	DD	1				CPU MEETING RM BALCONY
MAF	MAF-1	TRANE/CF30A1SW9CCWUBSH	K77A12502	B83	1				2ND FL MECH. RM

Attachment J.1.6
Drawings/Specifications/Cut Sheets

LIST:

1. Drawing: RFP Notes Page (1 Page)
2. Drawing: Mechanical Notes Page (1Page)
3. Drawing: Alto-Hartley Kitchen Design; K-1 thru K-5 (5 Pages)
4. Drawing: CaptiveAire Kitchen Hood; Sheet 1 thru 3 (3 Pages)
5. Cut Sheets: Alto-Hartley Equipment Schedule Items 1 thru 29 (147 Pages)
6. Cut Sheets: Alto-Hartley Above Refrigerator Storage (2 Pages)
7. Cut Sheets: M&M Appliances – Refrigerators (2 Pages)
8. Cut Sheets: M&M Appliance – Washing Machine (3 Pages)
9. Cut Sheets: M&M Appliance – Drying Machine (3 Pages)

EXHIBIT 2

DESIGN DETAIL FOR CAPTIVE AIRE HOOD

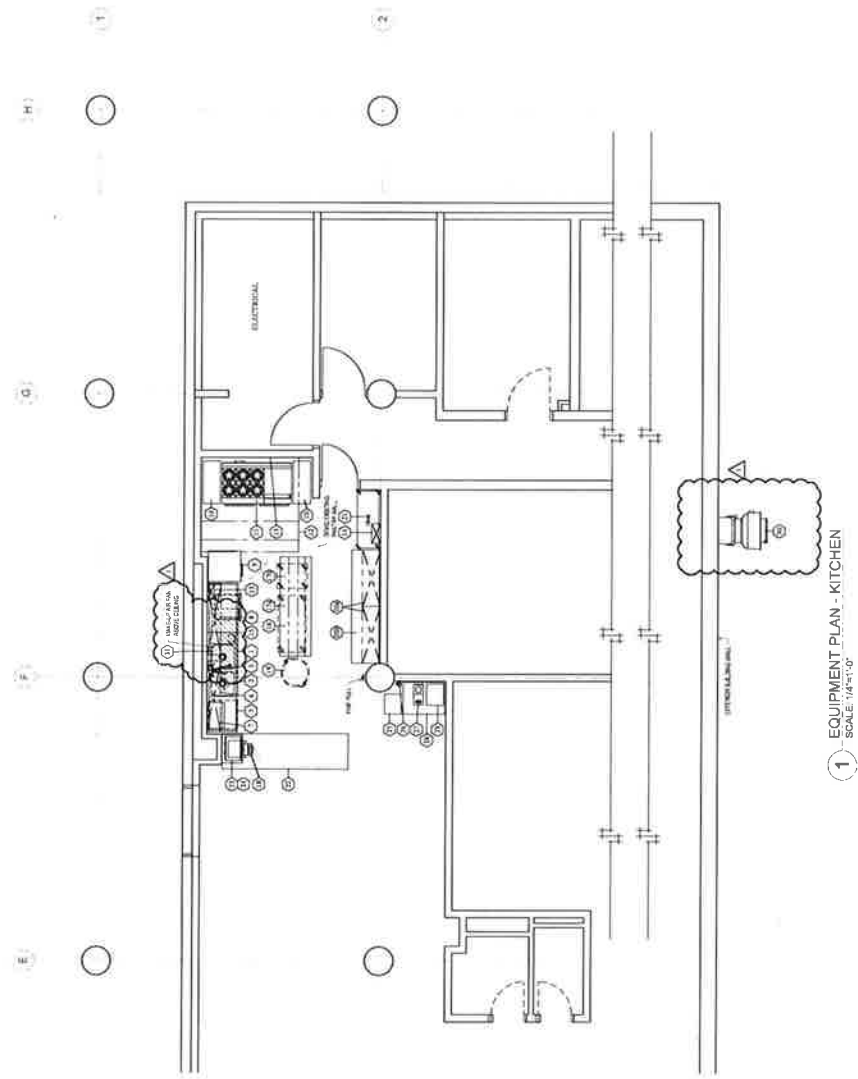
[ATTACHMENT WILL APPEAR ON THE FOLLOWING PAGE]

EXHIBIT 3

KITCHEN EXHAUST & MAKE UP AIR PLAN

[ATTACHMENT WILL APPEAR ON THE FOLLOWING PAGE]

NO	QTY	DESCRIPTION	REMARKS
1	1	WORK TABLE WITH BENCH TOP	
2	1	DISPOSER	
3	1	PRE-RINSE SPRAY W/ ADD-ON FAUCET	
4	-	SEAM NUMBER	
5	1	LOADING CARTER OPERATOR	
6	1	WALL SHELF W/ POT RACK	EXISTING TO REMAIN
7	1	WASTED BACK SHELF	
8	1	WALL SHELF	
9	1	ROASTER REFRIGERATOR	
10	2	WORK TABLE - 30" x 48"	
11	1	W/ BURNER RANGE W/ GREENLE INCHES & 10" DIA	
12	1	STAINLESS STEEL SINK	
13	1	EXHAUST HOOD CONTROL PANEL	
14	1	FIRE SUPPRESSION SYSTEM	
15	1	LETT	
16	1	STAINLESS STEEL WALL PANELS	
17	1	WORK TABLE MADE W/ OVERHEADS & POT RACK	
18	1	MOBILE WORK TOP PAN RACK - 30" x 48"	
19	1	TOASTER	
20	1	TRASH CAN	EXISTING, RELOCATED
21	1	WORK COUNTER W/ LOCKABLE STORAGE BELOW	EXISTING, RELOCATED
22	1	WALL CABINET - 24" x 36"	
23	1	STORAGE BENCH	
24	1	SINK COUNTER W/ UNDERBELL SINKS & 2" x 4" APENS	EXISTING TO REMAIN
25	1	MIDWAY BENCH	EXISTING TO REMAIN
26	1	W/ 2" x 4" DISPENSER	EXISTING, RELOCATED
27	1	WATER FILTER	
28	1	COFFEE MAKER	EXISTING, RELOCATED
29	1	30" TABLE W/ 2 OVERHEADS	
30	1	CEILING COFFEE BELL	EXISTING, RELOCATED
31	1	RECHINA PNEUMATIC FAN	WALL MOUNTED
32	1	RECHINA MAKE UP AIR FAN	WALL MOUNTED



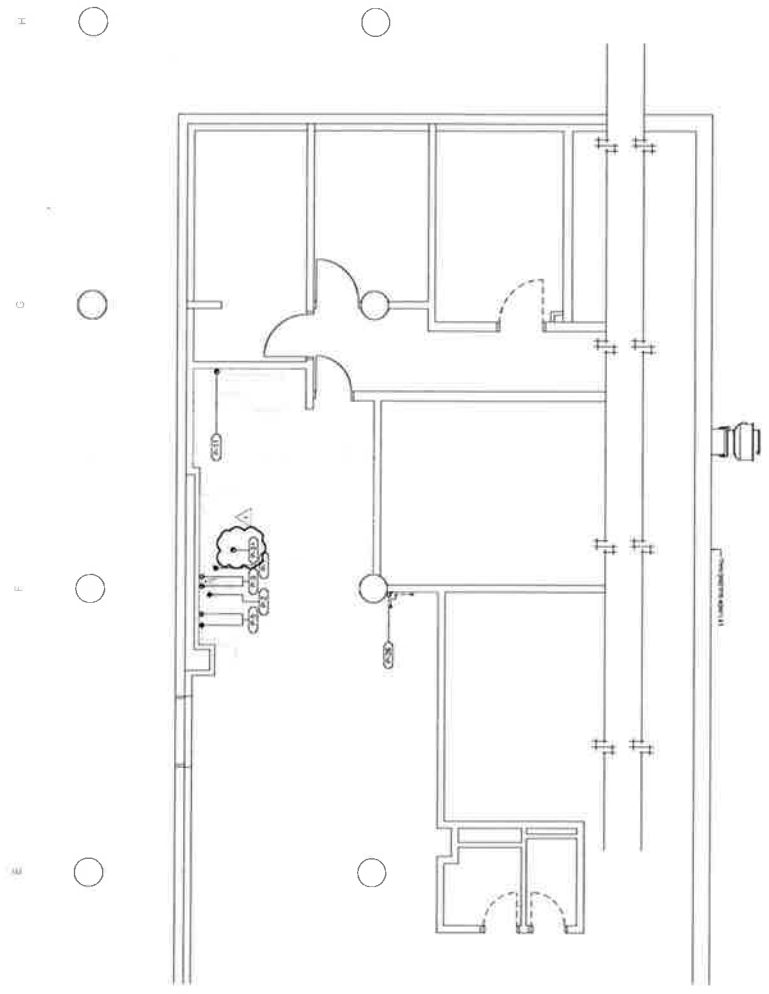
UNIVERSITY CALLED VENTURE & BAY
 LAW & REALTY BUILDING

ALTO - HARTLEY, INC.
 4874-A EISENHOWER AVE
 ALEXANDRIA, VA 22304
 (703) 883-1448

ENGINE HOUSE 2
 500 F. St. NW
 Washington, DC

PLUMBING CONNECTION PLAN

DATE: 07/16/2018
 SCALE: 1/4" = 1'-0"
 SHEET: K-2



1 PLUMBING CONNECTION PLAN
 SCALE: 1/4"=1'-0"

PLUMBING CONNECTION SCHEDULE

ITEM	QTY	DESCRIPTION	DRAIN	1/2"	3/4"	1"	1 1/2"	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"	36"	42"	48"	54"	60"	REMARKS
1	1	2-COMPARTMENT SINK	208				1 1/2"																			*CONNECT TO EXISTING DRAIN
2	1	EXPOSED	208				1 1/2"																			*CONNECT TO EXISTING DRAIN & WATER SUPPLY
3	1	PREPARE SPRAY W/ ADDRESS FAUCET	208				1 1/2"																			*CONNECT TO HOT & COLD WATER SUPPLY. THE CW & CONNECT TO EXISTING DRAIN. USE BRASS BRASS & VACUUM BREAKER
4	1	UNDERCOUNTER DISHWASHER	208				1 1/2"																			*PROVIDE 1/2" GARDON HOSE CONNECTION. CONNECT TO EXISTING DRAIN & WATER SUPPLY
5	1	SHOWER RANGE W/ GROUND, SINK & DRAIN	208				1 1/2"																			*PROVIDE 1/2" GARDON HOSE WITH 1/2" CONNECTION
6	1	WATER DISPENSER	208				1 1/2"																			*WITH FLOORING CALL OUT WITH 1/2" CONNECTION
7	1	WATER FILTER	208				1 1/2"																			*1/2" FROM WATER SUPPLY. CONNECTION TO EXISTING DRAIN & WATER SUPPLY
8	1	COTTON MALE	208				1 1/2"																			*1/2" FROM WATER SUPPLY. CONNECTION TO EXISTING DRAIN & WATER SUPPLY
9	1	MADE UP FOR FLOOR DRAIN	208				1 1/2"																			*1/2" FROM WATER SUPPLY. CONNECTION TO EXISTING DRAIN & WATER SUPPLY

LEGEND - PLUMBING CONNECTIONS

- ○ HW-HOT WATER, OR CW-COLD WATER
- ○ GAS
- DIRECT WASTE
- FLOOR DRAIN (FD)
- FUNNEL TYPE FLOOR DRAIN (FFD)
- FLOOR SINK (FS)
- CONNECTION ON EQUIPMENT
- FIELD CONNECTIONS
- P.C. PLUMBING CONTRACTOR
- FCW FILTERED COLD WATER
- CWS CONDENSER WATER SUPPLY
- CWR CONDENSER WATER RETURN

