

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF GENERAL SERVICES



**Wilson Building Exterior Restoration-- Phase 1
DCAM-15-CS-0112**

Amendment No. 4
Issued: April 24, 2015

This Amendment No. 4 is issued and hereby published on the DGS website on April 24, 2015. Except as modified hereby, the Request for Proposal (RFP) remains unmodified.

Item No. 1

The responses to questions about the Solicitation are provided as Exhibit1 to this amendment.

Attachments:

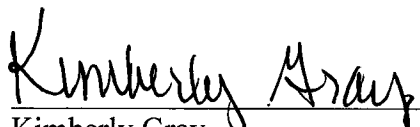
- Exhibit 1- Responses to Questions About the Solicitation

Item No. 2

Delete A.4 Form of Contract

The Form of Contract will be issued to the selected Contractor at the time of award.

All other terms and conditions remain the same.



Kimberly Gray
Supervisory Contract Specialist



Date

No.	RFP Section Reference	Question	Response
1		Please show a section thru the concrete deck and what we think is ISO insulation. We believe that there are wood sleeper, we aren't sure.	Drawings from Shalom Baranes Assoc. for the 1997 renovation show 4" insulation on concrete deck with wood blocking at 24" o.c. Contractor will need to verify existing conditions in the field.
2		What is the existing substrate in the valley of the gutter?	Drawings from Shalom Baranes Assoc. for the 1997 renovation show concrete as the existing substrate in the valley of the gutter. Contractor will need to verify existing conditions in the field.
3		Where are these lights, boxes and conduit you speak of on the drawings? How many lights are there?	There is a system of spotlights, junction boxes and supply conduits around the perimeter of the building at the main cornice gutter level. There are 105 "statue" spot lights.
4		If we were to be stopped due to noise. How would the contract be extended and how would the contractor be paid?	DGS will coordinate with the selected offeror to perform any noisy work after hours. The project is an owner occupied building that requires coordination. Include in your proposal a total of 5 workdays for noise stoppage.
5	<i>Roofing Scope of Work:</i>	Please advise whether work can be completed from the roof/gutter areas.	This question involves means and methods of construction and will need to be determined by the Contractor.
		Please advise whether work can be completed without scaffolding.	This question involves means and methods of construction and will need to be determined by the Contractor.
		Please advise whether a public space permit will be required for this project. If a public space permit is required, please add a DGS contingency/allowance to the price schedule for permitting. Contractor recommends an allowance of at least [\$30,000] be included for bid purposes since this will likely be required for this project.	The need for a public space permit will depend on whether or not the Contractor will require scaffolding as part of the means and methods of construction.
		Please confirm whether roof is currently leaking. Is there a current roofing survey of the existing conditions available? If so, please provide.	The roof currently leaks primarily when there is snow and ice damming in the gutters causing melting snow to back up into the joints between the main copper batten seam roofing and the lead coated copper gutter lining. There has also been leaking at the main cornice gutter level as evidenced by the numerous paint-on sealant repairs. The roof plan on drawing A3.02 shows the configuration of the existing roof.

		Are there any antennas, cameras, communications equipment in the way? Will contractor be required to relocate these as part of this contract? Please advise	There are none apparent in the upper roof gutter or in the main cornice gutter. Contractor will need to verify this in the field. See answer to Question 8.
6	<i>Roof Drains Scope of Work</i>	Will contractor be required to replace the whole drain body to the storm piping, or just the drain cover? Please advise.	The whole drain body and cover is to be replaced and connected to the existing storm piping.
7	<i>Masonry Scope of Work</i>	Please confirm anticipated Square Footage of existing chimneys (4 total). This information cannot be readily ascertained from the current plans.	The Contractor will need to verify this in the field. There are 4 chimneys, each with a surface area of approximately 200 s.f.
8	<i>Patch Scope of Work/Notes (Specific and General Note 8);</i>	Will contractor be required to remove conduits & wires – just for our work or everything? Please advise. Have the wires and conduits been identified? Please confirm. Where we patch the stone work, what material can be used? Please advise. Will a stone dutchmen need to be utilized? Please confirm.	Any existing items that are in the area of the new work are to be temporarily moved out of the way and reinstalled by the Contractor after the gutters, roofing, flashing and copings are installed. The primary items include the lightning protection system at the main roof and the spotlight and electrical conduit system at the main cornice level. The Contractor will need to verify locations and quantities of all anchored items in the field. Abandoned screw and bolt holes are to be patched with Jahn Restoration Mortar tinted to match the color of the stone. Contractor will not be required to patch existing spalled stone that does not occur within the area of work. Contractor will be responsible to repair any new damage to stone that occurs as a result of construction activity. Any masonry repair is to be done by a qualified masonry repair Contractor. Depending on the size and condition of the damage, dutchman repairs may be required.
9	<i>Lightning Rod System Scope of Work</i>	Scope indicates to remove and reinstall. Does existing lightning protection go down in section or entirely?	Remove and reinstall the existing lightning control system as needed to facilitate installation of the new gutter lining and wall coping. The lightning protection system is to be kept in service to the greatest extent possible during construction.

		What are the requirements for keeping it in service during construction?	The lightning protection system is to be kept in service to the greatest extent possible during construction.
		What do we patch holes with (are we required to patch stone where it has spalled and with what)?	See Answer to Question 8.
		Will lightning protection system need to be re-tested and commissioned after removal? Please advise.	The lightning protection system is to be re-tested and re-commissioned after removal.
10	<i>Electrical Scope of Work;</i>	Remove existing fixtures, light boxes and conduits as required (demo note). Please provide more detail regarding this scope item. Please confirm extent of any temporary electrical requirements.	See Answer to Question 8. The extent of temporary electrical requirements involves means and methods of construction and will need to be determined by the Contractor. Any use of building electrical that could cause a power outage will not be allowed. Contractors should plan to provide their own electrical supply by generators. LEED rating will not be required for this project.
11	<i>LEED Requirements;</i>	The LEED requirements are extensive in the specifications for this project. What specifically applies to this contract and scope? Please confirm.	The manufacturer and the general contractor. All government work requires one year warranty for materials and labor.
12	<i>Reference Spec. section 070150.19 paragraph 1.6 A</i>	Reference Spec. section which spells out that installer must be approved by warrantor. Who is the warrantor? Please advise.	The manufacturer and the general contractor. All government work requires one year warranty for materials and labor.
13	<i>Reference Spec. section 074113.19, paragraph 2.2 A.1.b</i>	Reference Spec. section spells out prepatinated copper. The existing roof system appears to be lead coated copper. Should the spec. be changed to reflect lead coated copper? Please verify.	At the base of the raised batten seam roofing area, the metal roofing is to be pre-patinated verdigris copper to match the existing batten seam roofing. The gutter lining below the raised edge of the batten seam roofing section is to be lead coated copper. See detail 5 on drawing A5.01.
14	<i>Reference</i>	Reference Spec. section spells out factory formed	Shop formed batten seam panels that meet SMACNA

<p><i>Spec. section 074113.19, paragraph 2.2 A</i></p>	<p>panels. Please confirm that shop formed batten seam panels are acceptable (would meet SMACNA requirements).</p>	<p>requirements and match existing batten seam roofing would be acceptable.</p>
<p>15</p>	<p><i>Drawing A3.01</i></p> <p>Notes on drawing request to remove and re-install the existing light fixtures. However, it doesn't show where or how many are there. Please provide the quantities/locations of those existing light fixtures.</p>	<p>See Answer to Question 8.</p>
<p>16</p>	<p><i>Drawing A3.02</i></p> <p>Notes on drawing indicate to remove, store, and reinstall the lightning rod system and other miscellaneous items. Please clarify the following: Where is the storage location? Please provide the descriptions/quantities of the miscellaneous items?</p>	<p>Location of temporary storage is to be determined by the Contractor either on site or at a remote location. Onsite storage is very limited and should not be assumed as a viable option.</p> <p>All quantities are to be verified in the field by the Contractor. See Answer to question 8.</p> <p>See Answer to Question 8.</p>
<p>17</p>	<p>Is the Contractor or Owner responsible for removing and re-installing all of the existing solar panels, antennas, broadcast equipment and etc. on the roof? If the Contractor, please provide the names and contact information of those vendors.</p>	<p>See Answer to Question 8.</p> <p>DUPLICATE OF #17</p>
<p>18</p>	<p>Is the Contractor or Owner responsible for removing and re-installing all of the existing solar panels, antennas, broadcast equipment and etc. on the roof? If the Contractor, please provide the names and contact information of those vendors.</p>	<p>Noise that will not impede daily operation. Please refer to Question #4.</p> <p>USSS coordination is required daily, two hours before each request for access. DGS will inform USSS of the long term project however, there could be a time where USSS denies work progress...though very unlikely.</p> <p>Very limited, not guaranteed based on government operations, and will need to be coordinated through DGS.</p>
<p>19</p>	<p>What are the requirements for the noise level?</p>	<p>See Answer to Question 8.</p>
<p>20</p>	<p>Please confirm that all work on the roof must be coordinate with the Secret Service Agency. What are the security requirements?</p>	<p>See Answer to Question 8.</p>
<p>21</p>	<p>Are there staging areas and/or parking spaces on-site for the Contractor?</p>	<p>See Answer to Question 8.</p>

22	Are there any hazardous materials? If so, please provide the hazardous report.	Presence of hazardous materials is not known by the Architect. This will need to be verified by the Contractor in the field. There are no hazardous materials reports.	
23	Please provide estimated budget for this project.	This will not be provided.	
24	Please confirm that only one layer of roofing is on rooftop that needs to be removed.	Existing drawings from Shalom Baranes Assoc. for the 1997 renovation show only one layer of copper roofing and one layer of underlayment. Contractor will need to verify existing conditions in the field. All existing roofing in areas of new work is to be removed down to substrate.	
25	The plans say to reference Electrical and Mechanical plans for relocation of existing equipment but there are no such pages. We need clarification on how to price removal and reinstallation of equipment including the lightning suppression system.	Disregard note 14 on sheet. A0.01. There are no Electrical or Mechanical plans with the drawings. All electrical and lighting protection system anchors must be verified by the Contractor in the field. See answer to question 8.	
26	On drawing A3.02 – Roof Plan, detail 8 states to replace S.S. flashing between and copper flashing around existing skylight. It is also stated on dwg. A4.01 – Partial Elevations, but is not shown on this drawing. We are asking to please provide a detail showing the skylight so that we can measure for flashing.	The stainless steel and copper flashing at the skylights are to be replaced in-kind to match the existing stainless steel and copper flashing. Construction is to match existing construction. Contractor to verify existing materials and conditions in the field.	