

GOVERNMENT OF THE DISTRICT OF COLUMBIA  
DEPARTMENT OF GENERAL SERVICES  
CAPITAL CONSTRUCTION SERVICES



## Earthquake Initiatives – Phase II

### Scope of Work:

During the site visits DGS had with FEMA and Bell Architects in regards to the August 23 Earthquake, the following facilities were confirmed to have damages, interior and / or exterior. Where the scope detail requests additional investigation to determine the repair, the contractor shall include this investigation, recommend the repair and perform the repair. The contractor shall provide all necessary services to ensure the scope intent and the applicable building code, local regulations and requirements are being met and that the new scope works cohesively with the existing conditions.

See Appendix A, attached, for detailed scope of work details for each facility.

1. DCS016 - Unified Communications Center / 2720 Martin Luther King Jr. Avenue, SE
2. DCS019 - Henry Daly Building / 300 Indiana Avenue, NW
3. DCS031 - Model Cities Wellness Center / 1901 Evarts Street, NE
4. DCS032 - Ward 6 Senior Wellness Center / 500 K Street, NE
5. DCS033 - Randall Recreation Center / 820 South Capitol Street, SW
6. DCS034 - RH Terrell Recreation Center / 155 L Street, NW
7. DCS035 - Sherwood Recreation Center / 640 10<sup>th</sup> Street, NE
8. DCS036 - Marvin Gaye Recreation Center / 6201 Banks Place, NE
9. DCS037 - Ridge Road Recreation Center / 800 Ridge Road, SE
10. DCS038 - Congress Heights Recreation Center / 611 Alabama Avenue, SE
11. DCS044 - Public Safety Communications Center / 310 McMillan Drive, NW
12. DCS059 - Grimke / 1923 Vermont Avenue, NW
13. DCS064 - Metropolitan Police Department 3<sup>rd</sup> District / 1624 V Street, NW
14. DCS070 – Bundy Building / 429 O Street, NW
15. DCS071 - Metropolitan Police Department Training Academy / 4665 Blue Plains Drive, SW
16. DCS072 - DC Mental Health / 1100 Alabama Avenue, SE
17. DCS073 - Benning Park Community Center / 5100 Southern Avenue, SE
18. DCS074 - Metropolitan Police Department Crime Lab / 3521 V Street, NE
19. DCS075 - Benning Stoddert Community Center / 100 Stoddert Place, SE
20. DCS077 - Ward 1 Wellness Center / 3531 Georgia Avenue, NW
21. DCS079 - Douglass Community Center / 2100 Stanton Terrace, SE
22. DCS083 - Washington Senior Center / 3001 Alabama Avenue, SE
23. DCS086 - House of Togetherness / 1835 Evarts Street, NE
24. DCS087 - Sumner School / 1201 17th Street, NW

# **APPENDIX A**

## **DETAILED SCOPES OF WORK**



DISTRICT OF COLUMBIA DEPARTMENT OF GENERAL SERVICES  
 2012 EARTHQUAKE INITIATIVE FACILITY ASSESSMENT

Survey Date 02/17/12	Property Name Unified Communications Center	Project #DCS016
	Property Address 2720 Martin Luther King Jr. Ave. SE	

	Construction Date: 2006
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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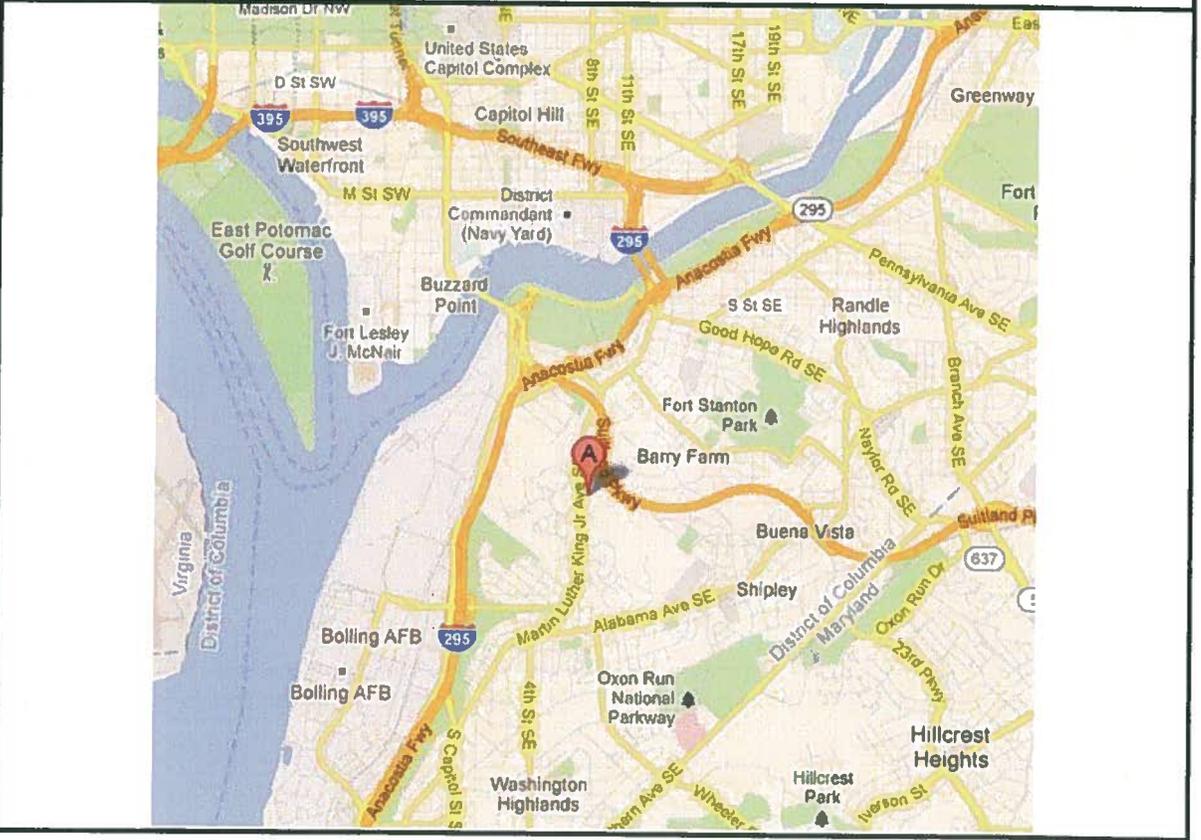
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Saint Elizabeths Hospital Historic District	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When in a Historic District work requires a building permit.  
 Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	Unified Communications Center	Project #DCS016
02/17/12	Property Address	2720 Martin Luther King Jr. Ave. SE	

**INTERIOR**

Stair #3 Level 3

1. Cracks at mortar joints of CMU and joint with concrete roof slab: Re-point and paint, scaffolding required.

**EXTERIOR**

South Elevation

2. Missing mortar from pre-cast panels of pilaster and damage to edge of pre-cast panel: Re-point with color mortar, scaffolding required for access.

North Elevation

3. Missing mortar from pre-cast panels of pilaster and at Northeast corner of building: Re-point with color mortar, lift required for access.
4. Missing mortar from pre-cast panels of frieze: Re-point with color mortar, lift required for access.

Covered Walkway

5. Missing mortar at pre-cast panels: Re-point with color mortar.

Roof at cooling tower – SE corner

6. Missing mortar at pre-cast panels: Re-point with color mortar.

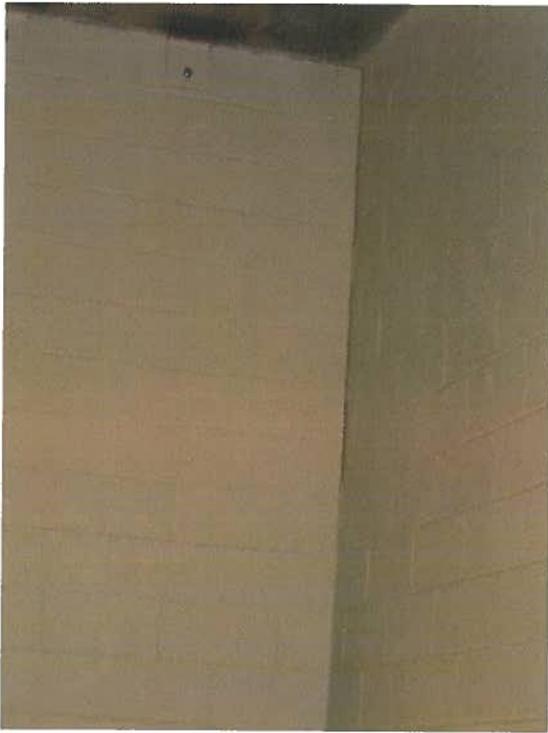


**SUMMARY of OBSERVATIONS**

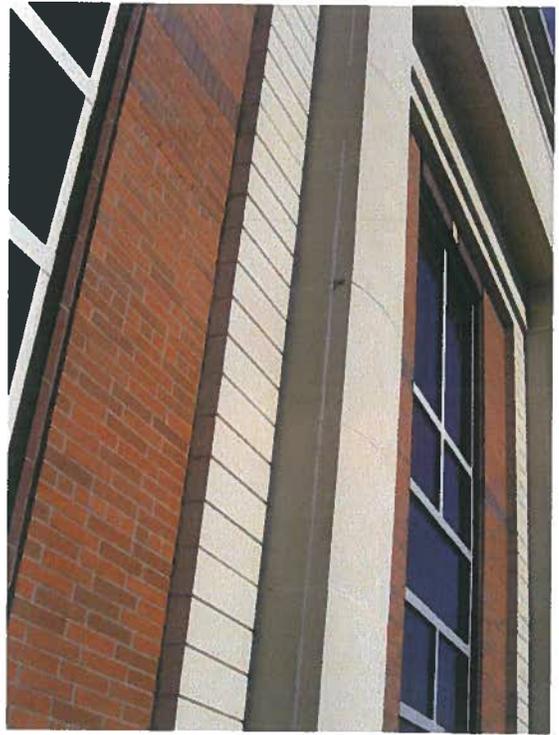
**Unified Communications Center/2720 MLK, Jr. Avenue, SE (February 17, 2012)**

- Hazardous Materials not anticipated to be encountered in/on building due to 2006 construction date of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



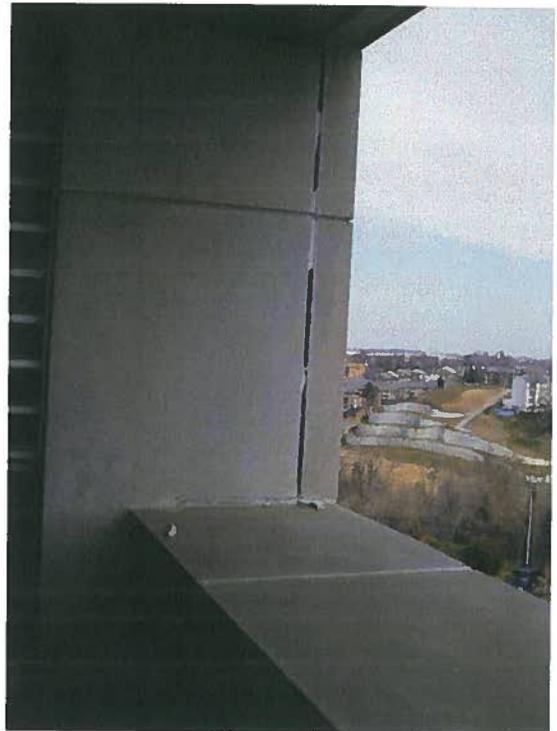
016 item 1.jpg



016 item 2.jpg



016 item 3.jpg



016 item 6.jpg



**DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE**

**DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT**

Survey Date 2/27/12	Property Name	Henry Daly Building	Project #DCS019
	Property Address	300 Indiana Avenue NW	

	Construction Date:	1942
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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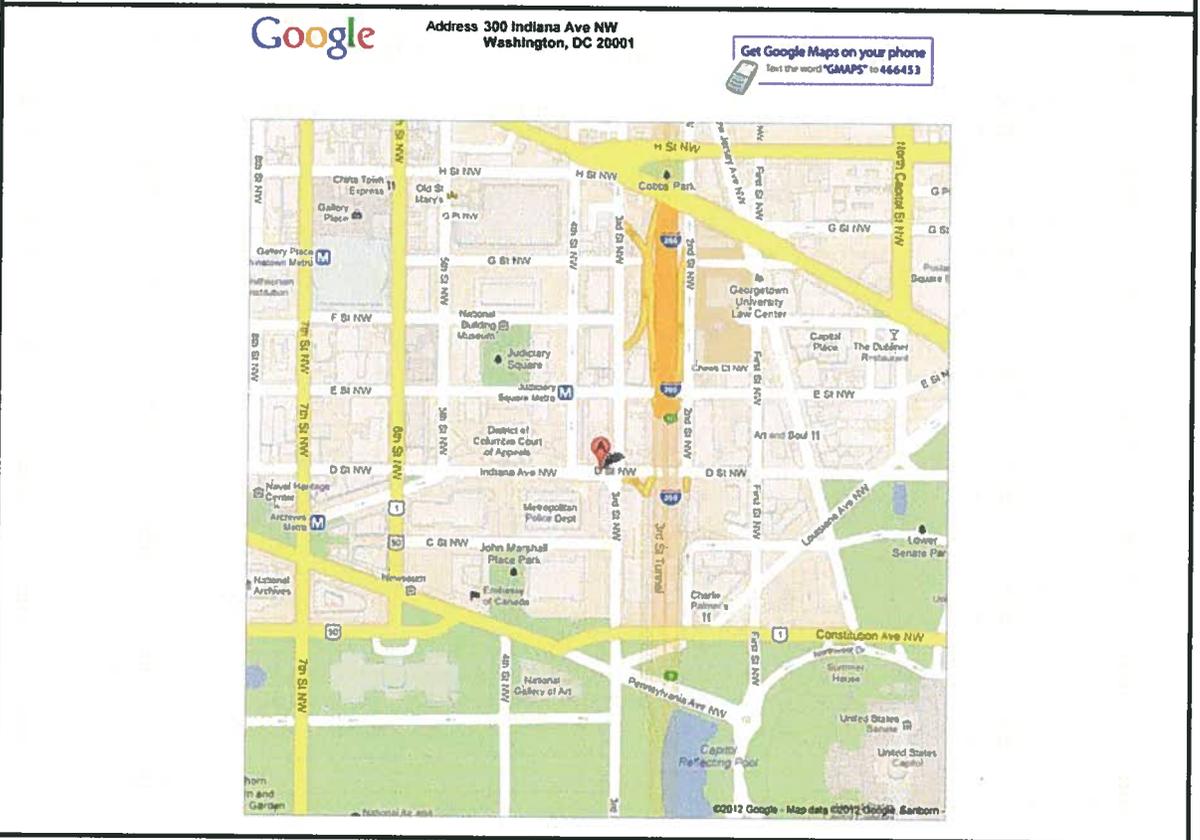
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Penn. Ave. National Historic Site	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When in a Historic District work requires a building permit.  
Note: Trade permits are required for all work.

**AREA MAP**





Survey Date	Property Name	Henry Daly Building	Project #DCS019
2/27/12	Property Address	300 Indiana Avenue NW	

- |   |  |
|---|--|
| 4 <sup>th</sup> Floor Corridor, adjacent to Stair A | 1. Cracked wall adjacent expansion joint, potential for lead based paint, see HAZMAT: Patch plaster and re-paint.  |
| 4 <sup>th</sup> Floor Corridor, adjacent to Stair D | 2. Cracked wall adjacent expansion joint, potential for lead based paint, see HAZMAT: Patch plaster and re-paint.  |
| Stair D, Level 4                                    | 3. Wall cracks, potential for lead based paint, see HAZMAT: Patch plaster and re-paint.  |
| Stair A, Basement to Level 2                        | 4. Water damage to plaster from pipes, not earthquake-related. Potential for lead based paint, see HAZMAT.   |
| Stair B   | 5. Crack at Level 4: Patch plaster and re-paint, potential for lead based paint, see HAZMAT. Water damaged plaster at various levels not earthquake-related. |
| Corridor outside Stair B, Level 4                   | 6. Cracked wall, potential for lead based paint, see HAZMAT: Patch plaster and re-paint.   |



**SUMMARY of OBSERVATIONS**

**Henry Daly Building/300 Indiana Avenue, NW (February 27, 2012)**

- Items 1, 2, 3, 4, 5, and 6: Cracking of interior painted plaster walls in multiple building areas. Painted plaster walls suspected of being coated with LBP due to construction date (1942) of building. Some locations showed evidence of past water intrusion and may be unrelated to EQ. Minor Suspect mold growth was noted on wood baseboard on Stair A, 1<sup>st</sup> Floor area (Item 4.)

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



019-1.JPG



019-4.JPG



Survey Date 02/22/12	Property Name Model Cities Wellness Center	Project #DCS031
	Property Address 1901 Evarts Street, NE	

	Construction Date: 1990
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES	Historic District Name:	National Register Listed
<input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

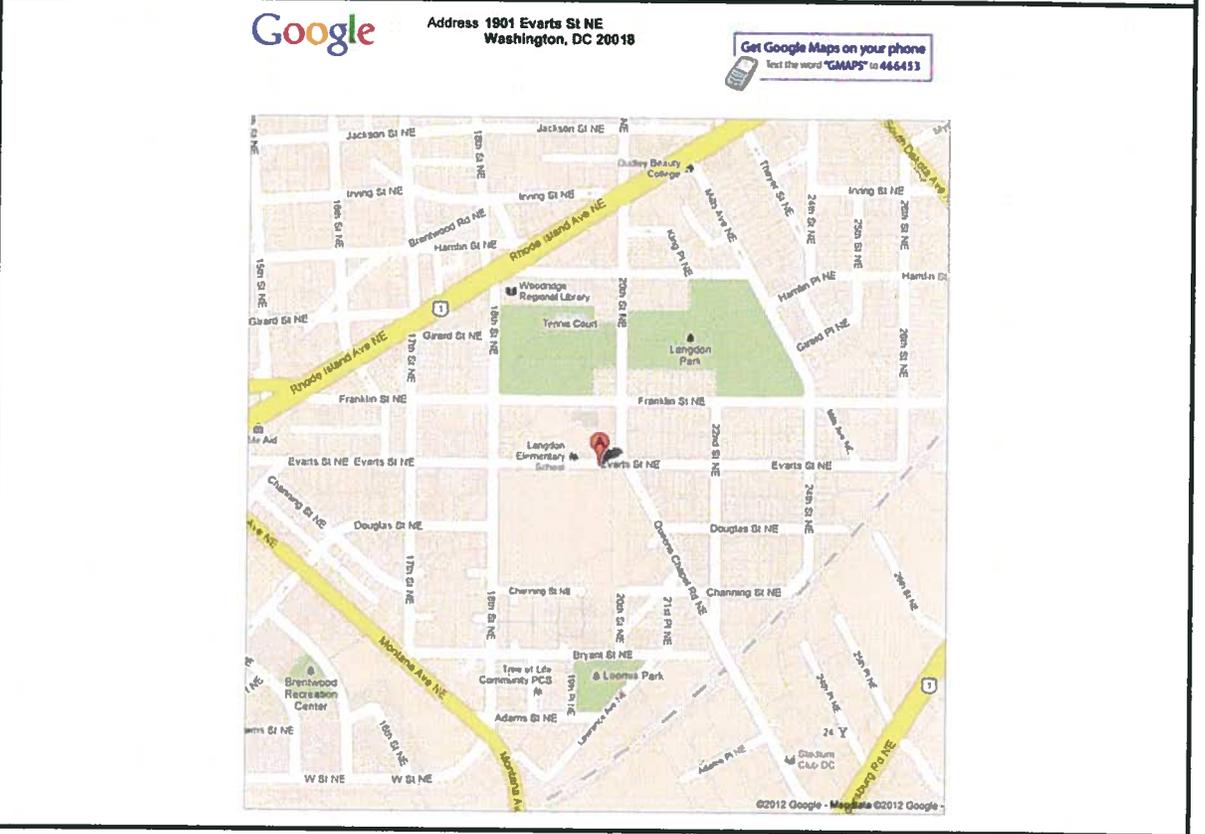
AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit. See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	Model Cities Wellness Center	Project #DCS031
02/22/12	Property Address	1901 Evarts Street, NE	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Model Cities Wellness Center	Project #DCS031
02/22/12	Property Address	1901 Evarts Street, NE	

Nutritionist's Office	1. Southwest corner and above door, cracks in plaster: Repair and re-paint.
North Branch Corridor	2. Cracks above doors to Nutritionist's Office and Nutrition Classroom: Repair and re-paint
Nutritionist's Office	3. Cracks above doors to Corridor and Storeroom: Repair and re-paint. Crack at west wall, at window: Repair and re-paint.
Storeroom	4. Crack above door: repair and re-paint. Cracks in CMU wall: Tuck point and re-paint.
Massage Therapy	5. West wall plaster cracks at window: Repair & re-paint.
Arts & Crafts	6. Wide cracks at windows: Reset CMU and re-paint after completing grouting of CMU lintel (item 15). Narrow crack on south wall: Spackle & re-paint.
Central Branch Corridor	7. Wall cracks: Spackle & re-paint.
Computer Room	8. Wall crack: Spackle & re-paint.
Main Corridor	9. Wall cracks: Spackle & re-paint.
Men's Parlor	10. Plaster crack at south wall: Repair & re-paint.
Electric Room	11. Southeast corner & west wall CMU cracks: Tuck point & re-paint.
Exercise Room	12. North and south soffit cracks in plaster and drywall: Repair plaster & paint, spackle and paint drywall.
Patio	13. Mechanical Room exterior wall & west face of landscaping wall: Clean out cracks and tuck point.
Mechanical Room north of patio	14. Cracks in south & west CMU walls: Inject epoxy grout into joints.
Exterior Wall of Arts & Crafts Room	15. Displaced bricks and damage to window: Remove brick window sills to inject grout at ends of CMU lintels above mechanical units. Re-install brick sills. Replace brick above crack south of head of west window. Replace west window. Clean out cracked joints in brick and tuck point.
Exterior Wall of Massage Therapy	16. Brick displacement and cracking: Clean out masonry cracks and tuck point.
Exterior Wall of Nutritionist's Office	17. Cracks at mortar joints of brick at window head: Tuck point.



**SUMMARY of OBSERVATIONS**

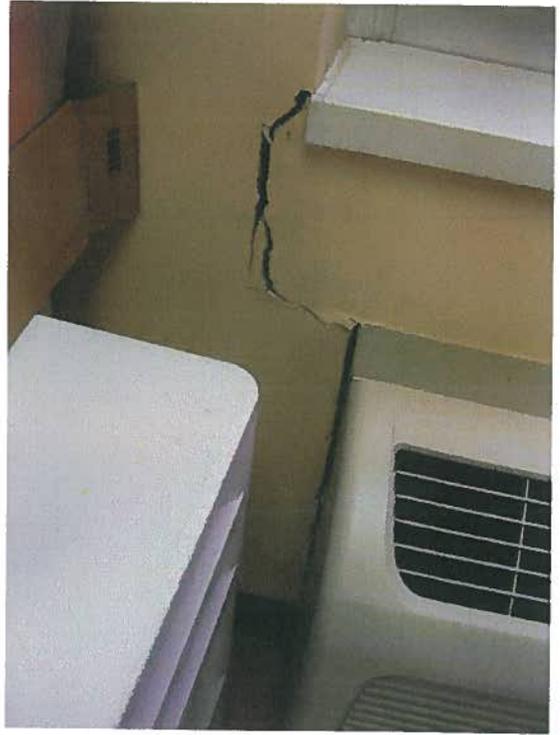
**Model Cities Wellness Center (February 22, 2012)**

- No hazardous materials are anticipated to be encountered due to reported construction date (1990) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



031-6.JPG



031-6a.JPG



031-15.JPG



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 2/22/12	Property Name Ward 6 Senior Wellness Center	Project #DCS032
	Property Address 500 K Street, NE	

	Construction Date: 1900's
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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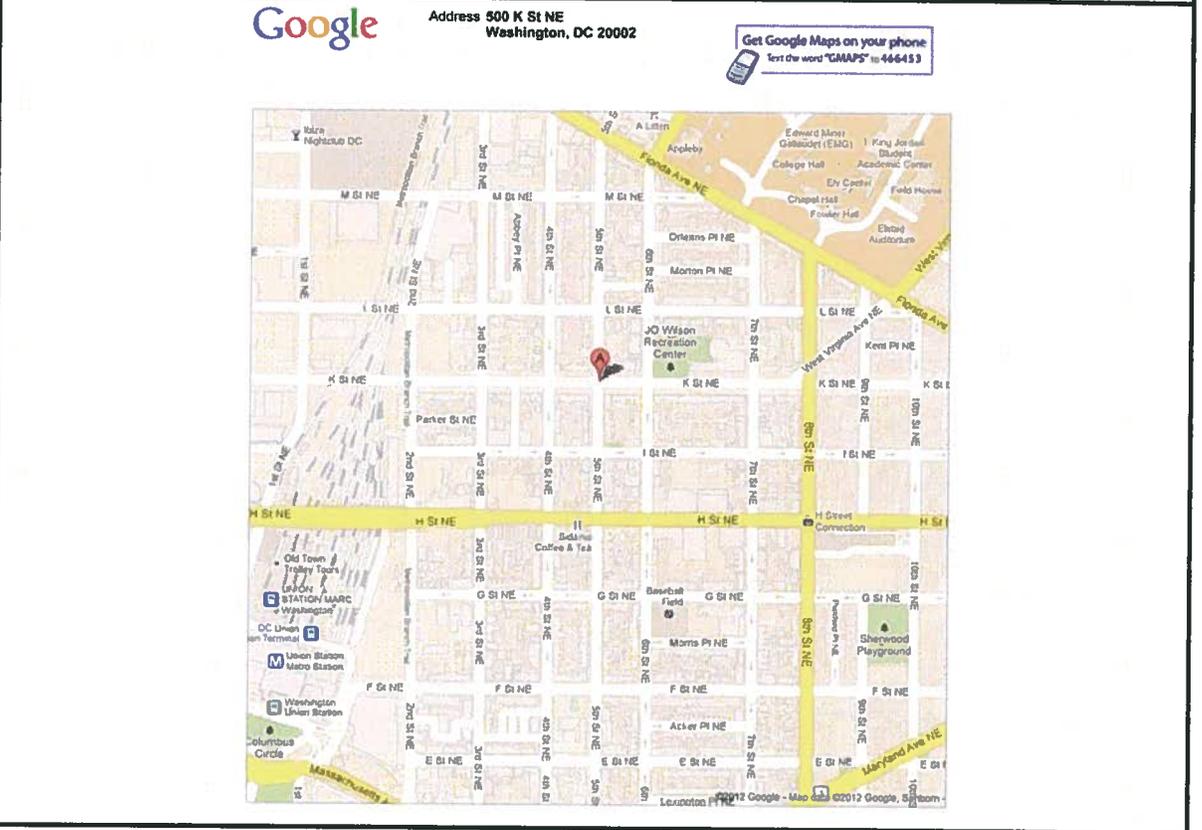
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Hayes School	National Register Listed <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
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AGENCY REVIEWS REQUIRED BY:

DCRA     HPRB     CFA     SHPO

Note: When in a Historic District work requires a building permit.  
Note: Trade permits are required for all work.

AREA MAP





Survey Date 2/22/12	Property Name Ward 6 Senior Wellness Center	Project #DCS032
	Property Address 500 K Street, NE	

Attic, South brick wall  
Attic, East wall, north end  
Attic, West wall, north end  
Roof, Chimney

1. Pre-existing crack in brick, not earthquake-related.
2. Crack in brick wall: Tuck point.
3. Crack in brick wall: Tuck point.
4. Pre-existing mis-aligned cap block, not earthquake-related.

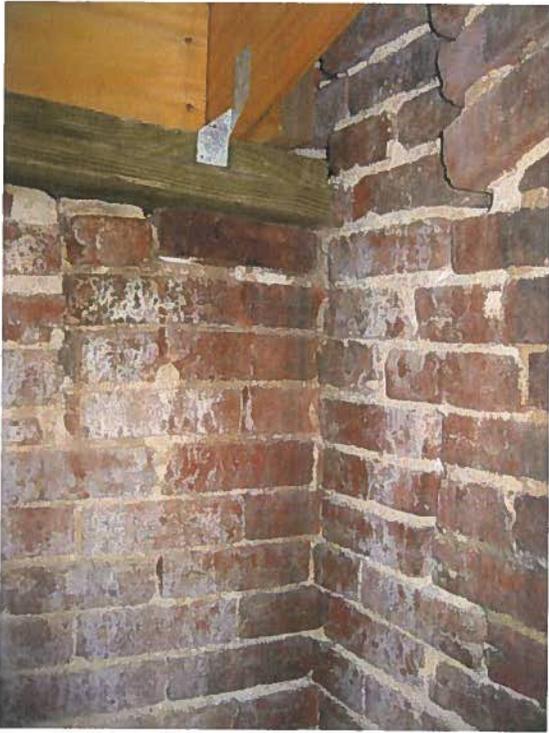


**SUMMARY of OBSERVATIONS**

**Ward 6 Senior Wellness Center (February 22, 2012)**

- Building was originally constructed in early 1900s, but complete renovation of building was completed in 2010/2011. Majority of building (except exterior façade) is new construction. No hazardous materials are anticipated to be encountered due to reported renovation date (2010/2011) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



032-3.JPG



Survey Date 02/17/12	Property Name	Randall Recreation Center	Project #DCS033
	Property Address	820 South Capitol Street SW	

	Construction Date:	1930's
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed
		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

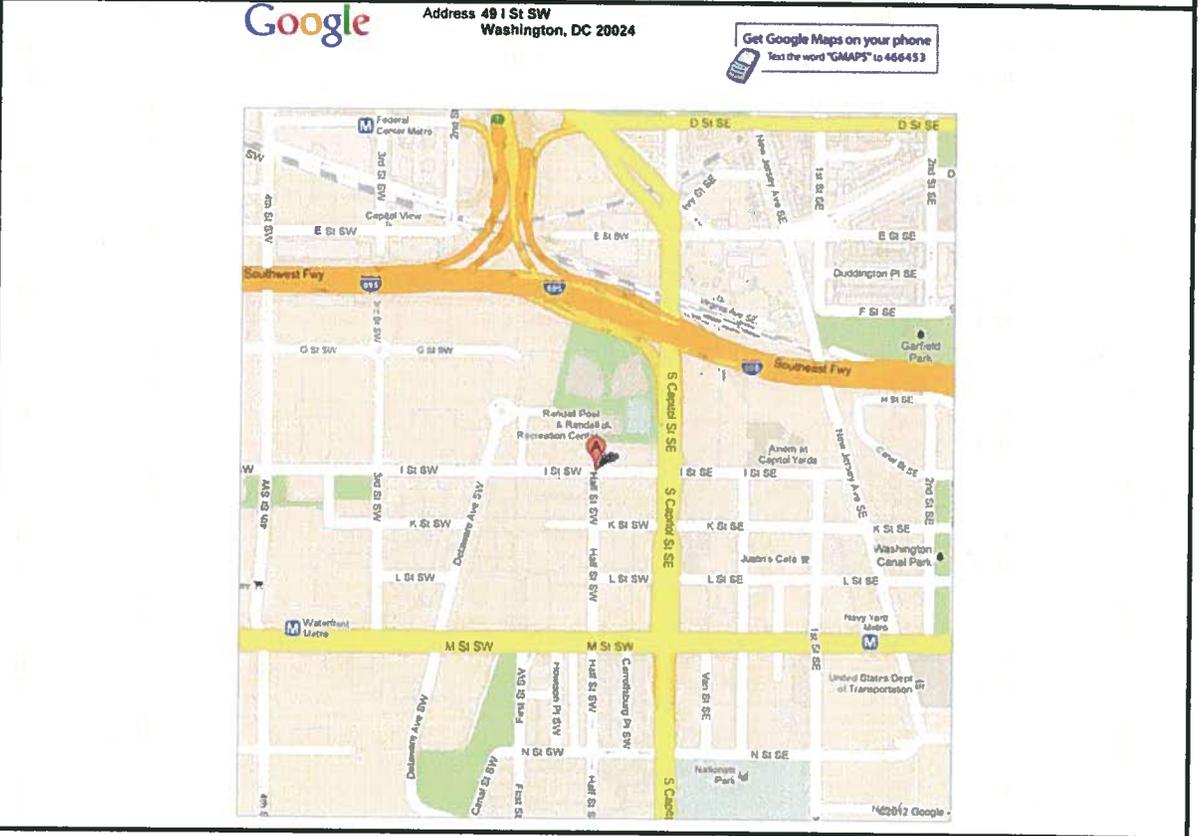
AGENCY REVIEWS REQUIRED BY:

<input type="checkbox"/> DCRA	<input type="checkbox"/> HPRB	<input checked="" type="checkbox"/> CFA	<input checked="" type="checkbox"/> SHPO
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Note: When not in a Historic District some work does not require a building permit. See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date 02/17/12	Property Name Randall Recreation Center	Project #DCS033
	Property Address 820 South Capitol Street SW	

Unless you are in a **historic district**, the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Randall Recreation Center	Project #DCS033
02/17/12	Property Address	820 South Capitol Street SW	

**EXTERIOR**

South wall

Northeast Corner

1. Cracking at brick mortar joints: Tuck point area.
2. Cracking at brick mortar joints, and displacement: Tuck point area and monitor.

**INTERIOR**

Main Entry

Recreation Room – SW Corner

Recreation Room – North Wall

Recreation Room – NE Corner

Rec. Room Storage – North Wall

North Classroom

3. Hairline cracking at mortar joints of bricks, same location as exterior Item #1, potential for LBP see HAZMAT: Tuck point and paint area.
4. Cracking at mortar joints of bricks, potential for LBP see HAZMAT: Tuck point and paint area, caulk control joint.
5. Cracking at mortar joints of bricks, potential for LBP see HAZMAT: Tuck point and paint area.
6. Cracking at intersection of two bricks walls, potential for LBP see HAZMAT: Tuck point and paint area.
7. Cracking at mortar joints of bricks and at corner with east wall, potential for LBP see HAZMAT: Tuck point and paint area.
8. Plywood ceiling around air register is cracked and paint peeling, potential for LBP see HAZMAT: Sand and paint area.



**SUMMARY of OBSERVATIONS**

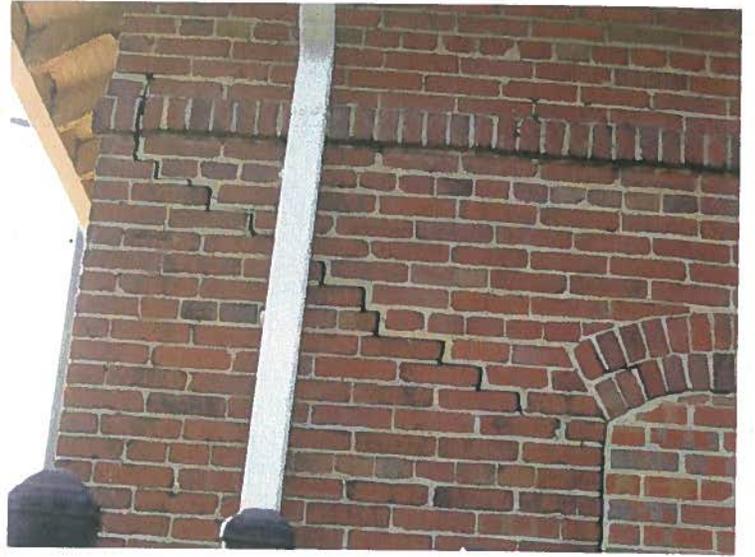
**Randall Recreation Center/49 I Street, SW (February 17, 2012)**

- Item 1: Exterior crack in unpainted brick wall on south side of building above Head Start entrance. Disturbance of potential hazardous materials not anticipated.
- Item 2: Exterior crack in unpainted brick wall on northeast corner of building. Disturbance of potential hazardous materials not anticipated.
- Item 3: Cracking on interior painted south brick wall in Main Entrance Foyer. Brick wall suspected of being coated with LBP due to construction date (1930s) of building. Extra care during abatement/stabilization may be warranted due to child occupied facility.
- Items 4, 5, and 6: Cracking in interior painted brick and CMU walls in southwest corner, north wall, and northeast corner of Recreation Room. Wall suspected of being coated with LBP due to construction date (1930s) of building. Extra care during abatement/stabilization may be warranted due to child occupied facility.
- Item 7: Cracking in interior painted north wall of Storage Room (located in northeast corner of Recreation Room.) Wall suspected of being coated with LBP due to construction date (1930s) of building. Extra care during abatement/stabilization may be warranted due to child occupied facility.
- Item 8: Cracking around air register in painted plywood ceiling in North Classroom. Wall suspected of being coated with LBP due to construction date (1930s) of building; however, this room was likely constructed more recently. Extra care during abatement/stabilization may be warranted due to child occupied facility.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



022 Item 1.jpg



022 Item 2.jpg



022 Item 3.jpg



Survey Date 03/12/12	Property Name RH Terrell Recreation Center	Project #DCS034
	Property Address 155 L Street NW	

	Construction Date: 2009
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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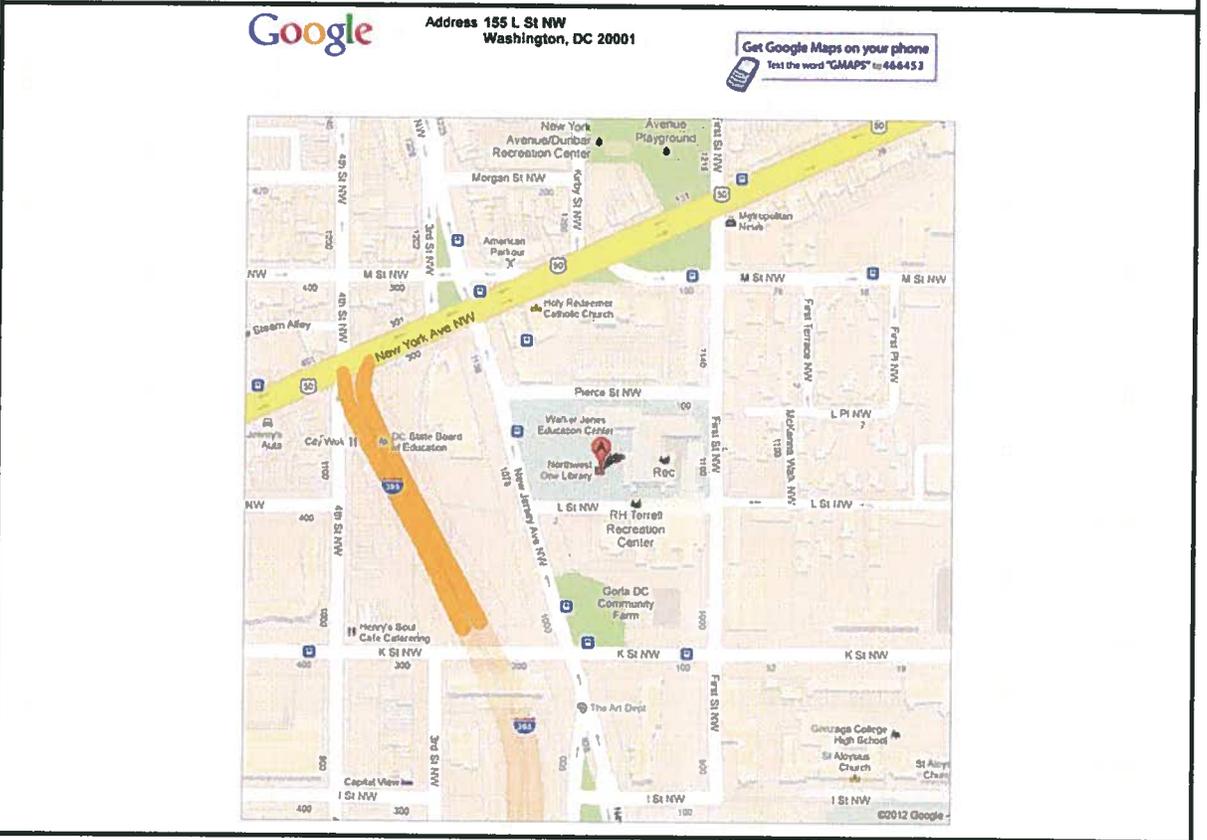
AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	RH Terrell Recreation Center	Project #DCS034
03/12/12	Property Address	155 L Street NW	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	RH Terrell Recreation Center	Project #DCS034
03/12/12	Property Address	155 L Street NW	

Men's restroom & lockers

1. North & east walls separation in caulk seam: Re-caulk vertical control joints in CMU. North wall, missing grout in wall tile: Replace grout. West wall, vertical crack in CMU: Tuck point.

Corridor, outside Men's Room

2. Separation in caulk seam at CMU control joint: Re-caulk.

Corridor to Gym

3. Separation at vertical CMU wall control joint, seam cracks in drywall soffit and fascia: Re-caulk control joint and re-paint, re-spackle and re-paint soffit.

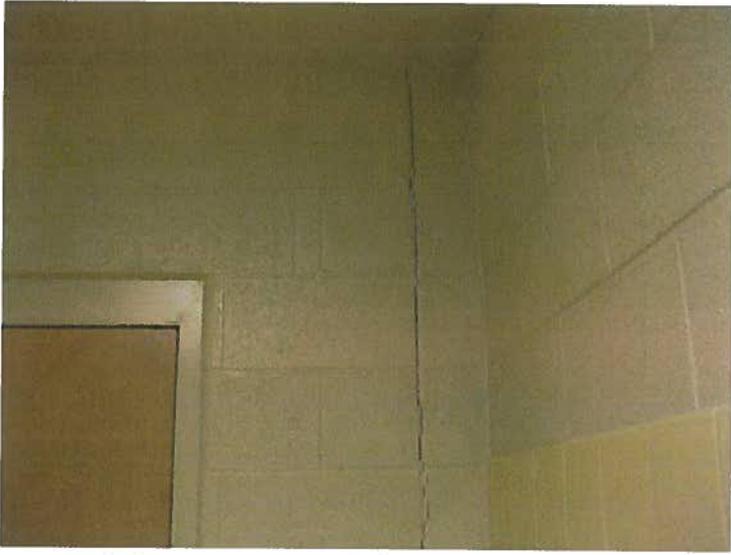


**SUMMARY of OBSERVATIONS**

**RH Terrell Rec. Center/155 L Street, NW (March 12, 2012)**

- Item 1: Separation at wall caulk seam in 1<sup>st</sup> Floor Men's Room. No hazardous materials are anticipated due to recent construction date (2007/2008) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



034-1.jpg



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 03/12/12	Property Name Sherwood Recreation Center	Project #DCS035
	Property Address 640 10 <sup>th</sup> Street NE	

	Construction Date: 2003
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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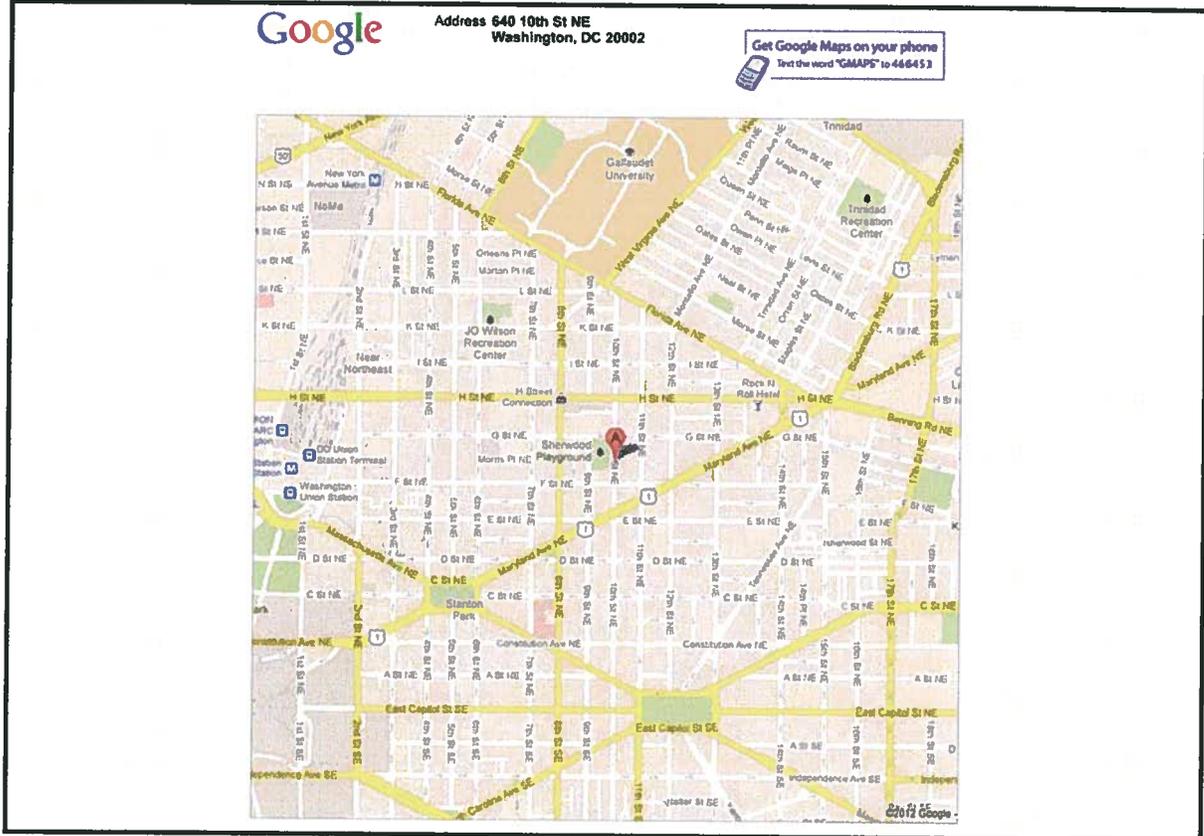
AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date 03/12/12	Property Name Sherwood Recreation Center	Project #DCS035
	Property Address 640 10 <sup>th</sup> Street NE	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date 03/12/12	Property Name Sherwood Recreation Center	Project #DCS035
	Property Address 640 10 <sup>th</sup> Street NE	

- |  |  |
|--|--|
| Locker Room                                  | 1. Southwest and northeast corners, CMU wall cracks: Tuck point & re-paint.  |
| Shower Room                                  | 2. Southeast corner on east wall, CMU control joint crack: Caulk & re-paint.                                       |
| Restroom                                     | 3. Southeast corner CMU control joint crack: Caulk & re-paint.   |
| Weight Room                                  | 4. Cracks in south & west CMU walls above windows: Tuck point & re-paint.  |
| Gym  | 5. Southeast corner CMU crack: Tuck point & re-paint. Southwest corner CMU control joint: Re-caulk.                |
| Gym, Northeast Storage Room                  | 6. Northwest & southeast corners, CMU cracks: Tuck point & re-paint.   |
| Double doors at top of stairs                | 7. Re-secure frame anchorage, spackle & re-paint wall at door jambs (both sides).                                  |
| Men's room vestibule (2 <sup>nd</sup> floor) | 8. CMU crack at southwest corner: Tuck point & re-paint.   |
| Corridor at door to room 201                 | 9. Spackle & re-paint drywall at door head crack.  |
| Wall crack by window                         | 10. Drywall seem is cracked above window: Repair drywall and paint.  |
| Exterior Entry Portico                       | 11. Brick inner corner seam separation at south side: Tuck point and re-paint, caulk crack at perimeter of soffit. |

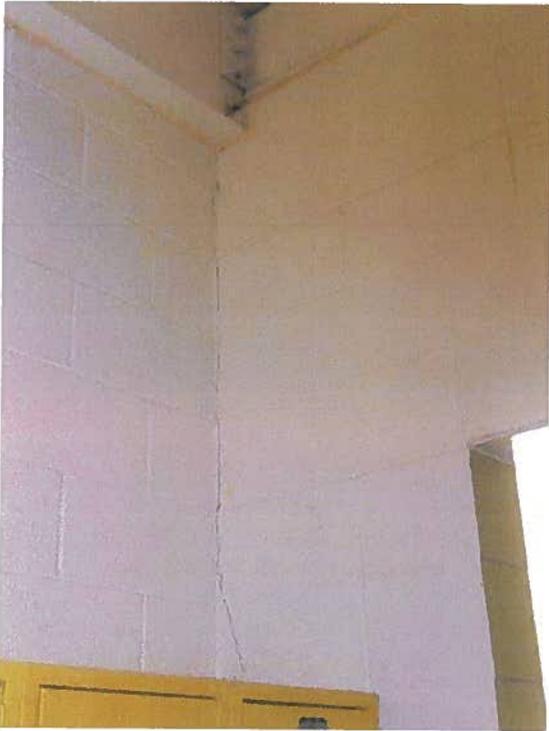


**SUMMARY of OBSERVATIONS**

**Sherwood Rec. Center/640 10<sup>th</sup> Street, NE (March 12, 2012)**

- No hazardous materials are anticipated due to recent construction date (2003) of building.

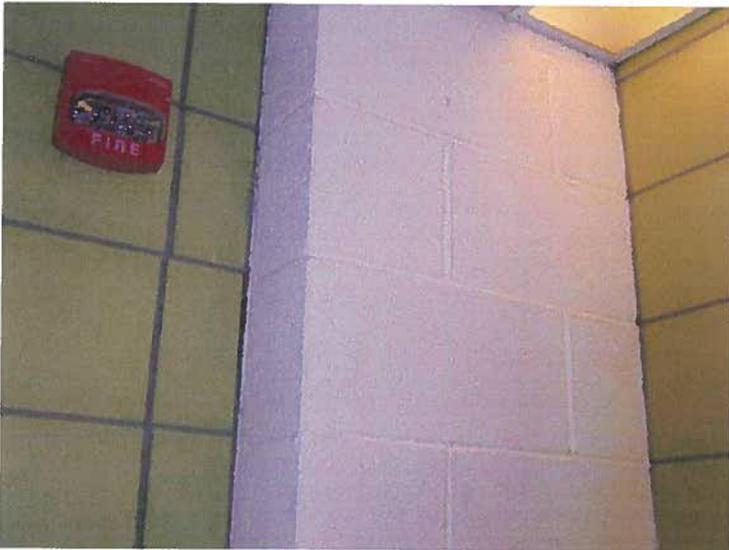
**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



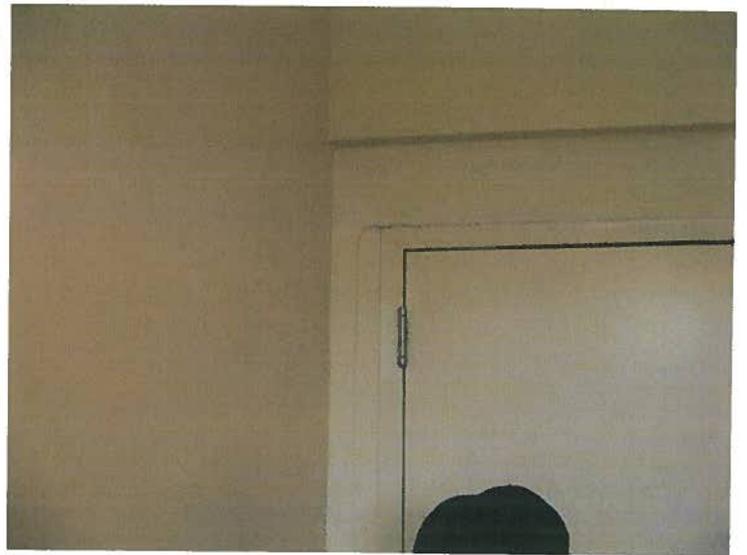
035 item1.jpg



035 item 8.jpg



035 item 3.jpg



035 item 7.jpg



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 03/12/12	Property Name Marvin Gaye Recreation Center	Project #DCS036
	Property Address 6201 Banks Place NE	

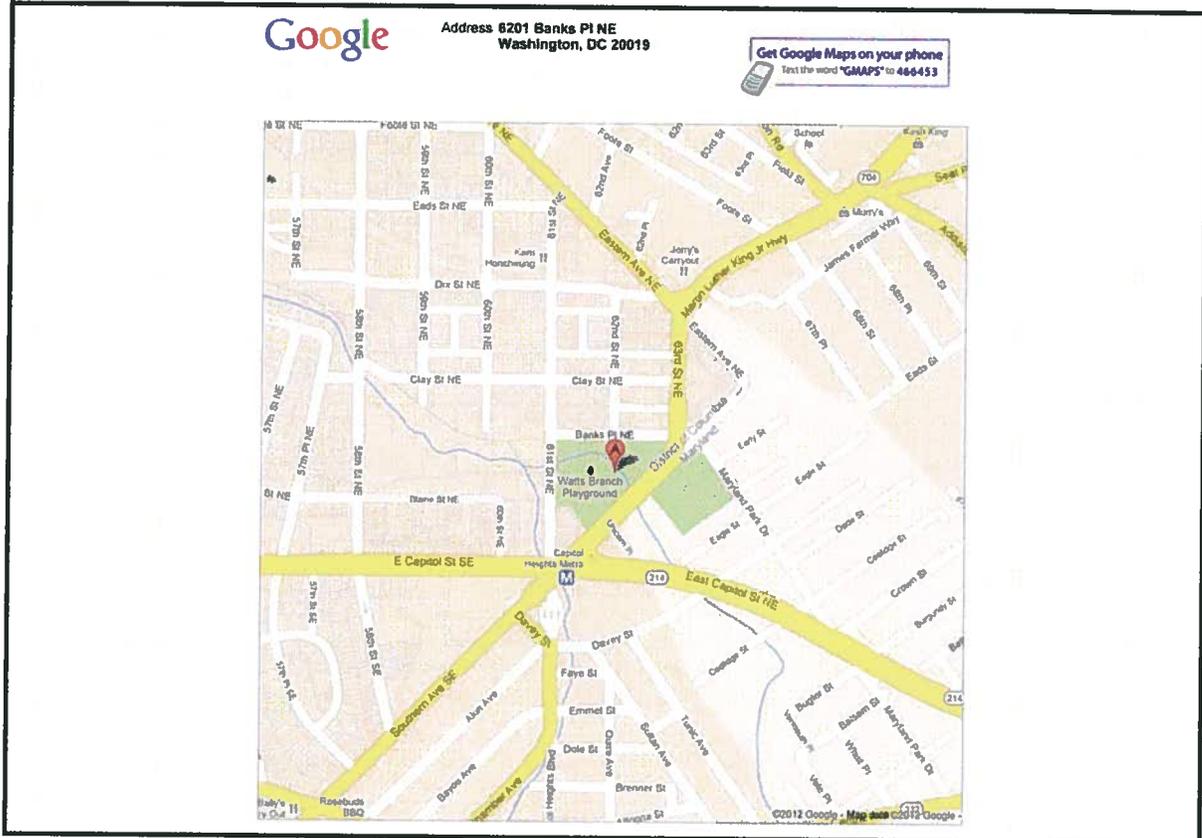
	Construction Date: 1975	
<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

AGENCY REVIEWS REQUIRED BY:
<input type="checkbox"/> DCRA <input type="checkbox"/> HPRB <input checked="" type="checkbox"/> CFA <input checked="" type="checkbox"/> SHPO

Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date 03/12/12	Property Name Marvin Gaye Recreation Center	Project #DCS036
	Property Address 6201 Banks Place NE	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Marvin Gaye Recreation Center	Project #DCS036
03/12/12	Property Address	6201 Banks Place NE	

East Exterior Wall

1. Step crack in brick at high south end. Separation at vertical brick control joints, potential for ACM see HAZMAT: Tuck point brick, re-caulk control joint.

South Exterior Wall

2. Cracked brick joint: Tuck point.

Men's Restroom

3. Separation of vertical brick joints in south alcove, potential for ACM see HAZMAT: Re-caulk.

Central Room

4. Cracks in glazed blocks at 3 locations: Tuck point.



**SUMMARY of OBSERVATIONS**

**Marvin Gaye Rec. Center/6201 Banks Place, NE (March 12, 2012)**

- Item 1: Separation of construction joint on exterior, unpainted brick wall on east façade of building. Caulk at construction joint is presumed ACMs due to estimated construction date (pre-1978) of building. Abatement of construction joint caulk materials will be required if disturbed.
- Item 2: Cracking of exterior, unpainted brick wall on south façade of building. No hazardous materials anticipated to be disturbed during recommended repair (i.e. re-pointing.)
- Item 3: Separation at building seams in interior South Alcove walls. Painted surfaces suspected of being coated with LBP and caulks at construction joints are presumed ACMs due to estimated construction date (pre-1978) of building. These suspect materials are not anticipated to be disturbed during recommended repair (i.e. application of new caulk.)
- Item 4: Cracking of glazed block walls in multiple locations in Main Room. Glazed blocks may be lead-glazed, but no special work practices would be anticipated during repair of cracks.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



036 item 4.jpg



036 item 3.jpg



**DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE**

**DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT**

Survey Date 03/12/12	Property Name Ridge Road Recreation Center	Project #DCS037
	Property Address 800 Ridge Road SE	

	Construction Date: 1950	
<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

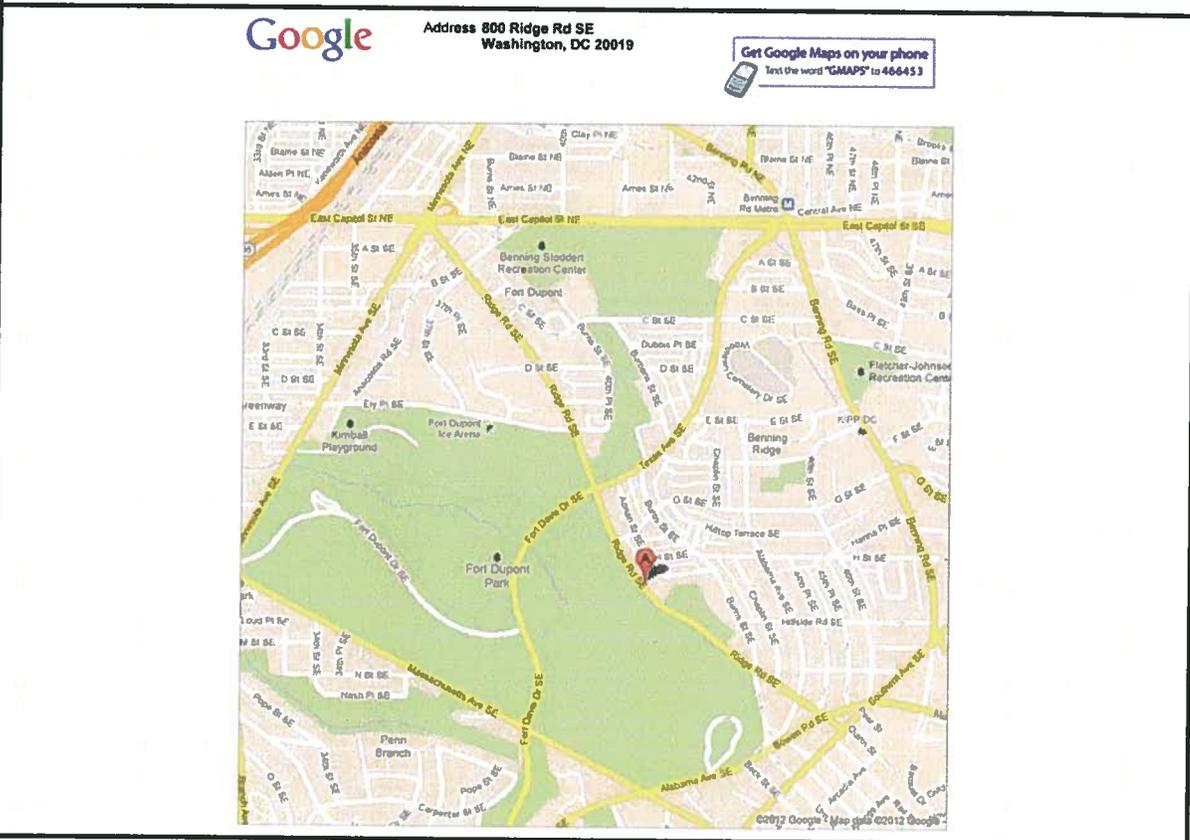
**AGENCY REVIEWS REQUIRED BY:**

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

**AREA MAP**





Survey Date	Property Name	Ridge Road Recreation Center	Project #DCS037
03/12/12	Property Address	800 Ridge Road SE	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Ridge Road Recreation Center	Project #DCS037
03/12/12	Property Address	800 Ridge Road SE	

Note:

"North" is assumed to be the rear of the building, for this report.

Men's Restroom

1. Separation between CMU and brick at southeast and southwest corners, potential for ACM see HAZMAT. Uneven ceramic floor tile at crack: Caulk CMU/brick joint and paint, replace damaged floor tile.

East exterior wall

2. Separation in brick wall one below south window, and one near electrical service, potential for ACM see HAZMAT: Caulk brick control joints.

Northwest exterior door

3. Step crack in brick above door: Tuck point.



**SUMMARY of OBSERVATIONS**

**Ridge Road Rec. Center/800 Ridge Road, SE (March 12, 2012)**

- Item 1: Separation at painted wall construction joint in Men's Bathroom. Painted walls suspected of being coated with LBP due to estimated construction date (pre-1978) of building. Caulk at construction joint would be presumed to be ACM due to estimated construction date of the building. Uneven settling of ceramic floor also noted. Ceramic floor tiles may be lead-glazed, but no special work practices would be anticipated during repair of floor.
- Item 2: Separation at unpainted brick wall construction joint on exterior of building. Caulk at construction joint would be presumed to be ACM due to estimated construction date of the building.
- Item 3: Stair crack on unpainted, exterior brick wall. No hazardous materials would be anticipated to be disturbed during repair of this item.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



037 - 1.jpg



037 - 2.jpg



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 03/12/12	Property Name Congress Heights Recreation Center	Project #DCS038
	Property Address 611 Alabama Avenue SE	

	Construction Date: 1944
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES	Historic District Name:	National Register Listed
<input checked="" type="checkbox"/> NO		

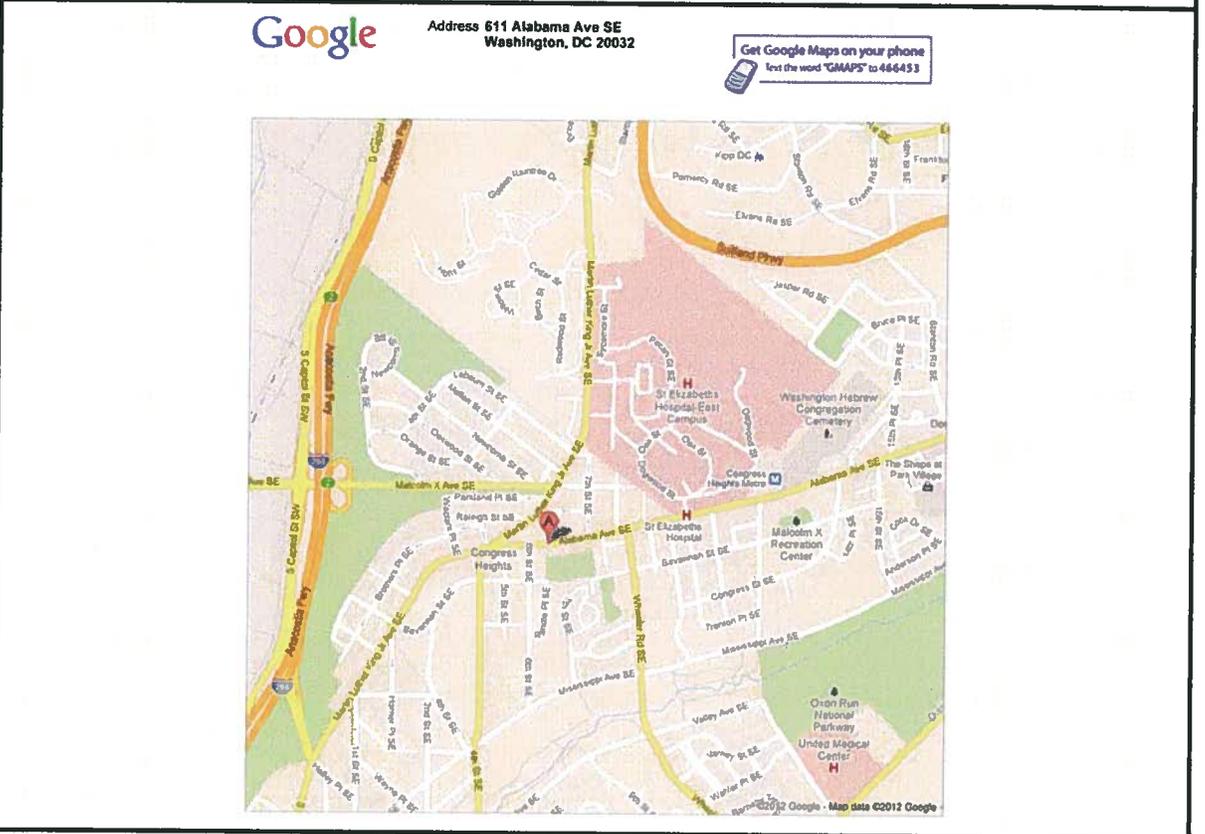
AGENCY REVIEWS REQUIRED BY:

<input type="checkbox"/> DCRA	<input type="checkbox"/> HPRB	<input checked="" type="checkbox"/> CFA	<input checked="" type="checkbox"/> SHPO
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Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date 03/12/12	Property Name Congress Heights Recreation Center	Project #DCS038
	Property Address 611 Alabama Avenue SE	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date 03/12/12	Property Name Congress Heights Recreation Center	Project #DCS038
	Property Address 611 Alabama Avenue SE	

Entry door, north side  
Entry door, south side  
East side of building  
South office

1. Brick damage not earthquake related.
2. Brick damage not earthquake related.
3. Brick damage not earthquake related.
4. Separation between wood panels and gypsum board, potential for LBP see HAZMAT. Caulk seam separation in wood joints and re-paint at wall & ceiling.



**SUMMARY of OBSERVATIONS**

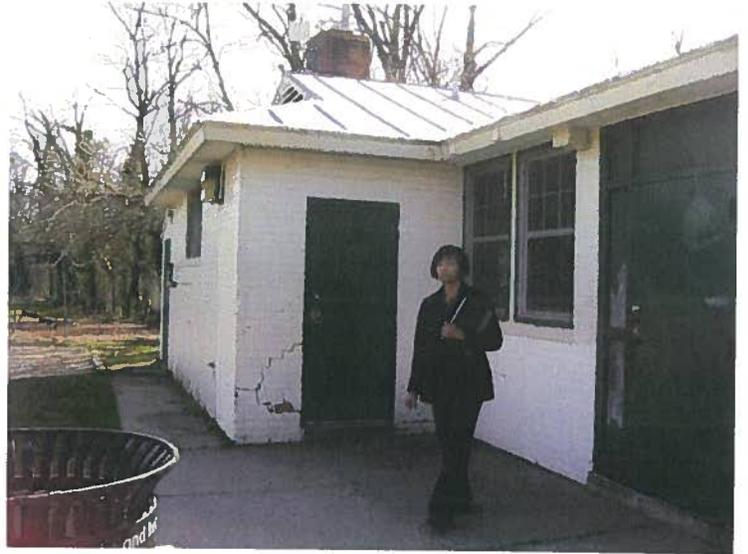
**Congress Heights Rec. Center/611 Alabama Ave, SE (March 12, 2012)**

- Items 1, 2, and 3: Cracking of exterior painted brick walls in multiple areas. Damage is most likely pre-existing/non-EQ. Painted brick walls suspected of being coated with LBP due to estimated construction date (pre-1978) of building.
- Item 4: Separation between painted gypsum wallboards and painted wood panels ceilings. Damage is difficult to observe and may be pre-existing. Painted walls and ceiling suspected of being coated with LBP due to estimated construction date (pre-1978) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



038 - 3.jpg



038 - 1.jpg



031 - 3a.jpg



038 - 4.jpg



**DISTRICT OF COLUMBIA DEPARTMENT OF GENERAL SERVICES**  
**2012 EARTHQUAKE INITIATIVE FACILITY ASSESSMENT**

Survey Date 03/12/12	Property Name Public Safety Communications Center	Project #DCS044
	Property Address 310 McMillian Drive NW	

	Construction Date: 1991
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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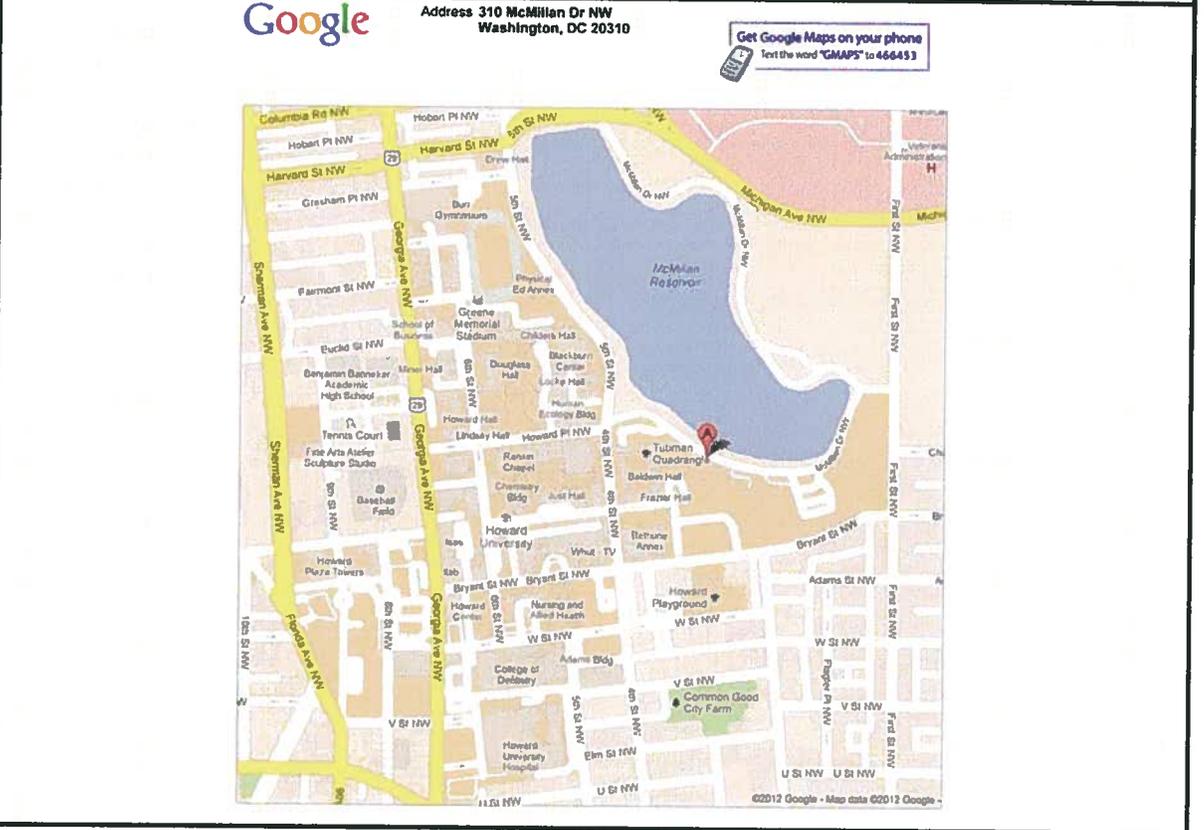
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: McMillian Park Reservoir	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
--	---	---

AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When in a Historic District work requires a building permit.  
 Note: Trade permits are required for all work.

**AREA MAP**





Survey Date	Property Name	Public Safety Communications Center	Project #DCS044
03/12/12	Property Address	310 McMillian Drive NW	

East Stair, Level 1  
East Stair, Mezzanine  
East Stair, Level 2

East Stair, Level 3

South stair

1. Crack at north wall: Spackle and re-paint.
2. Crack at north wall: Spackle and re-paint.
3. Cracking of CMU at north wall, southeast corner. Horizontal crack in CMU of north wall: Tuck point & re-paint.
4. Crack at north wall, vertical cracks in CMU at northwest corner and west wall: Spackle and re-paint, CMU tuck point & re-paint.
5. Vertical crack of CMU at southwest corner and high on west wall: Tuck point & re-paint
6. North wall, below 2<sup>nd</sup> floor landing, step crack in CMU: Tuck point & re-paint.



**SUMMARY of OBSERVATIONS**

**Public Safety Communications Center/310 McMillan Drive, NW (March 12, 2012)**

- Items 1 through 6: Damage to painted CMU walls in East and South Stairwells. No hazardous materials are anticipated due to recent construction dates (1991, 1996) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



044-1.jpg



Survey Date 2/22/12	Property Name Grimke	Project #DCS059
	Property Address 1923 Vermont Ave., NW	

	Construction Date: 1938
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<b>HISTORIC</b>	<input checked="" type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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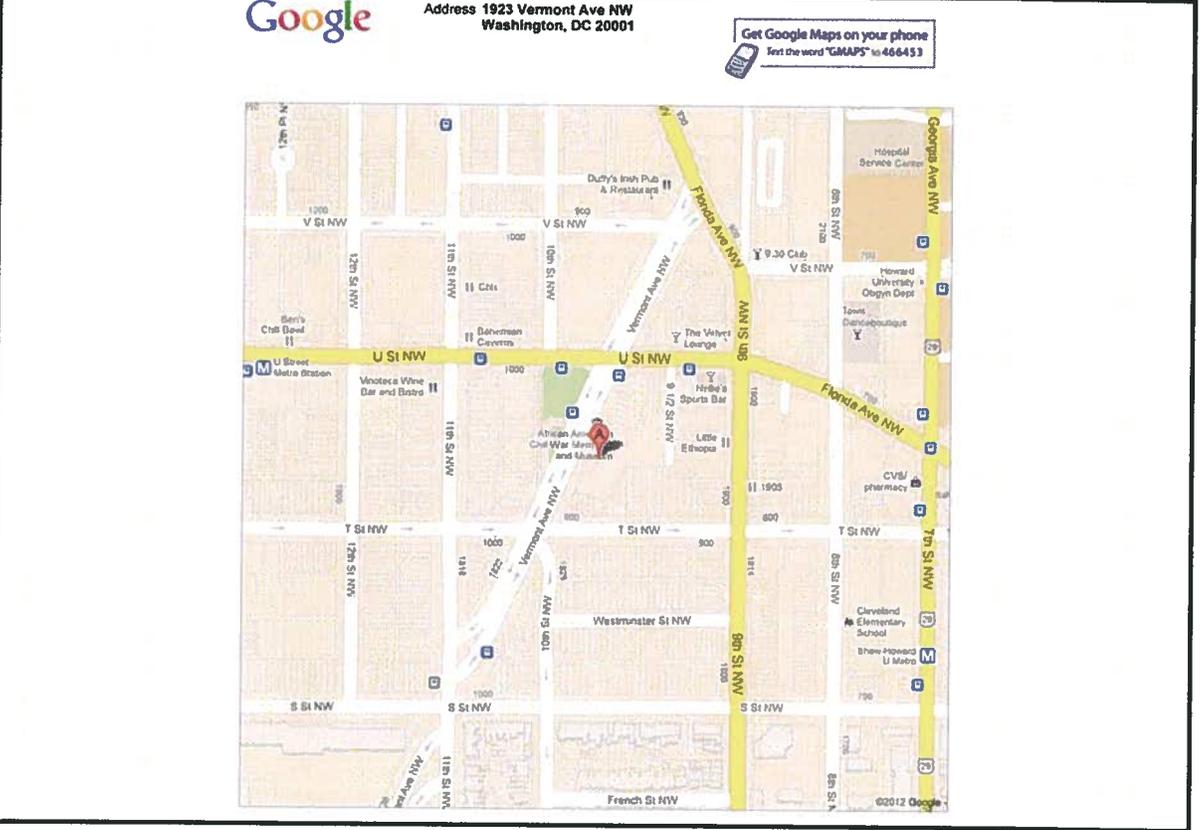
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Greater U Street Historic District	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
--	---	---

AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When in a Historic District work requires a building permit.  
Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	Grimke	Project #DCS059
2/22/12	Property Address	1923 Vermont Ave., NW	

Level 2, North Wing, Director's Office

1. Repairs executed (crack repairs, re-painting, re-installation of ceiling tiles), potential lead based paint see HAZMAT.

Level 2, North Wing, Office No. 208

2. West wall: Plaster repair, fill wood panel joints, re-paint. North wall: Caulk & re-paint trim separation. East wall: Spackle & re-paint cracks. Potential lead based paint see HAZMAT.

Level 1, North Wing, Room N-102-C

3. Repairs executed: West wall crack repairs & re-paint. Repairs to be done: North wall: Spackling & re-painting. Potential lead based paint see HAZMAT.

Basement, North Wing, water valve closet

4. Brick wall crack and severely deteriorated and peeling paint, potential lead based see HAZMAT. Not related to earthquake.

Exterior, East Wall, South Wing  
Exterior, East Wall, South Wing

5. Brick crack: Pre-existing, not earthquake related.  
6. Brick crack below bay window: Tuck point.



**SUMMARY of OBSERVATIONS**

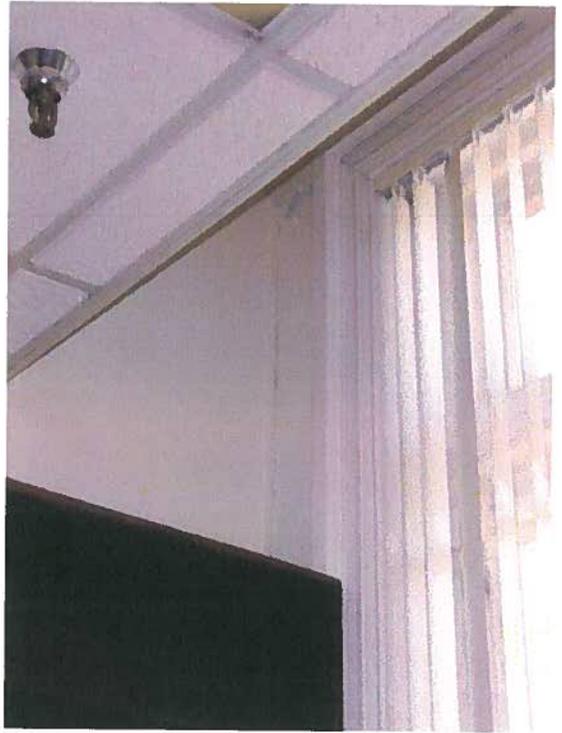
**Grimke (February 22, 2012)**

- Items 1, 2, and 3: Cracking of painted plaster walls/ceiling with separation of painted plaster walls and painted wood window casings in select areas. Some EQ damages have already been repaired by DGS. Painted surfaces likely coated with LBP due to construction date (1938) of building.
- Item 4: Severe deterioration of painted surfaces observed in Room NB-3C Sprinkler Room in Basement Level Payroll Office. No EQ damage noted. LBP likely present and should be stabilized and delaminated paint should be cleaned up.
- Items 5 and 6: Exterior cracking on unpainted bricks on east façade of building. LBP likely present on window exteriors, but is not anticipated to be disturbed during repairs.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



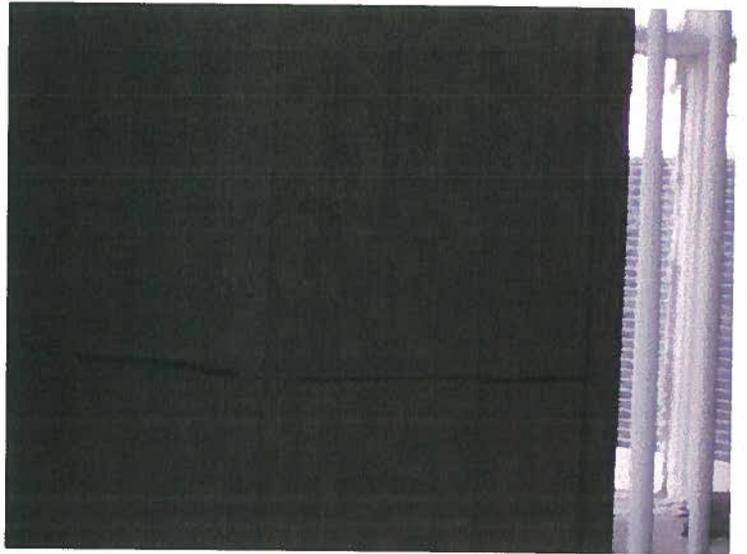
059 item 1.jpg



059 item 2a.jpg



059 item 2c.jpg



059 item 2b.jpg



**DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE**

**DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT**

Survey Date 2/23/12	Property Name Metropolitan Police Dept. 3 <sup>rd</sup> District	Project #DCS064
	Property Address 1624 V Street NW	

	Construction Date: Circa 1960	
<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
<input type="checkbox"/> YES	Historic District Name:	National Register Listed
<input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

AGENCY REVIEWS REQUIRED BY:

DCRA     HPRB     CFA     SHPO

Note: When not in a Historic District some work does not require a building permit. See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

**AREA MAP**

Address 1624 V St NW  
Washington, DC 20009

Text the word "GMAPS" to 466453

©2012 Google - Map data ©2012 Google, Satellite



Survey Date 2/23/12	Property Name Metropolitan Police Dept. 3 <sup>rd</sup> District	Project #DCS064
	Property Address 1624 V Street NW	

Unless you are in a **historic district**, the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date 2/23/12	Property Name Metropolitan Police Dept. 3 <sup>rd</sup> District	Project #DCS064
	Property Address 1624 V Street NW	

North perimeter of Garage, west  
end of brick wall on east side

1. Cracking and shifting of brick around column: Replace brick on west and north sides of column, interlacing new and existing bricks on the north face. To the east, an intersection with an adjacent brick wall is cracked: Tuck point the joint.

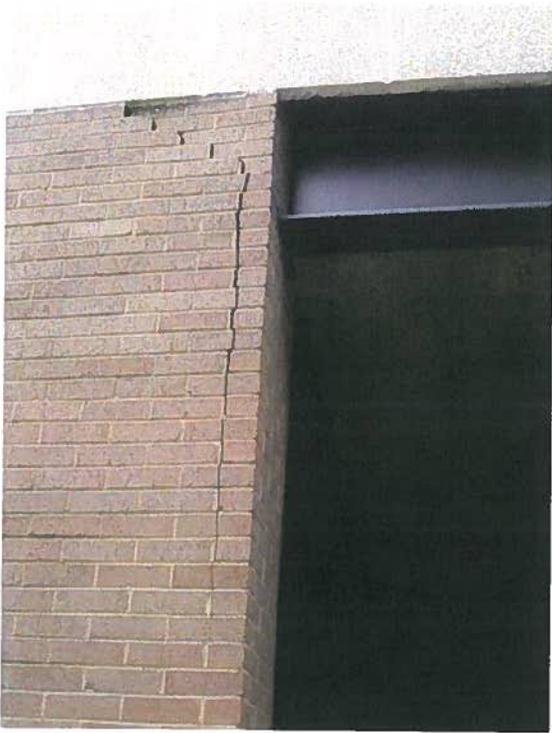


**SUMMARY of OBSERVATIONS**

**Metropolitan Police Department 3<sup>rd</sup> District/1624 V Street, NW (February 24, 2012)**

- Item 1: Cracking in exterior, unpainted brick on parking garage column. No hazardous materials anticipated to be disturbed by repairs.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



064-1a.JPG



064-1b.JPG



**DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE**

**DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT**

Survey Date 02/24/12	Property Name Bundy Building	Project #DCS070
	Property Address 429 O Street NW	

	Construction Date: circa 1930
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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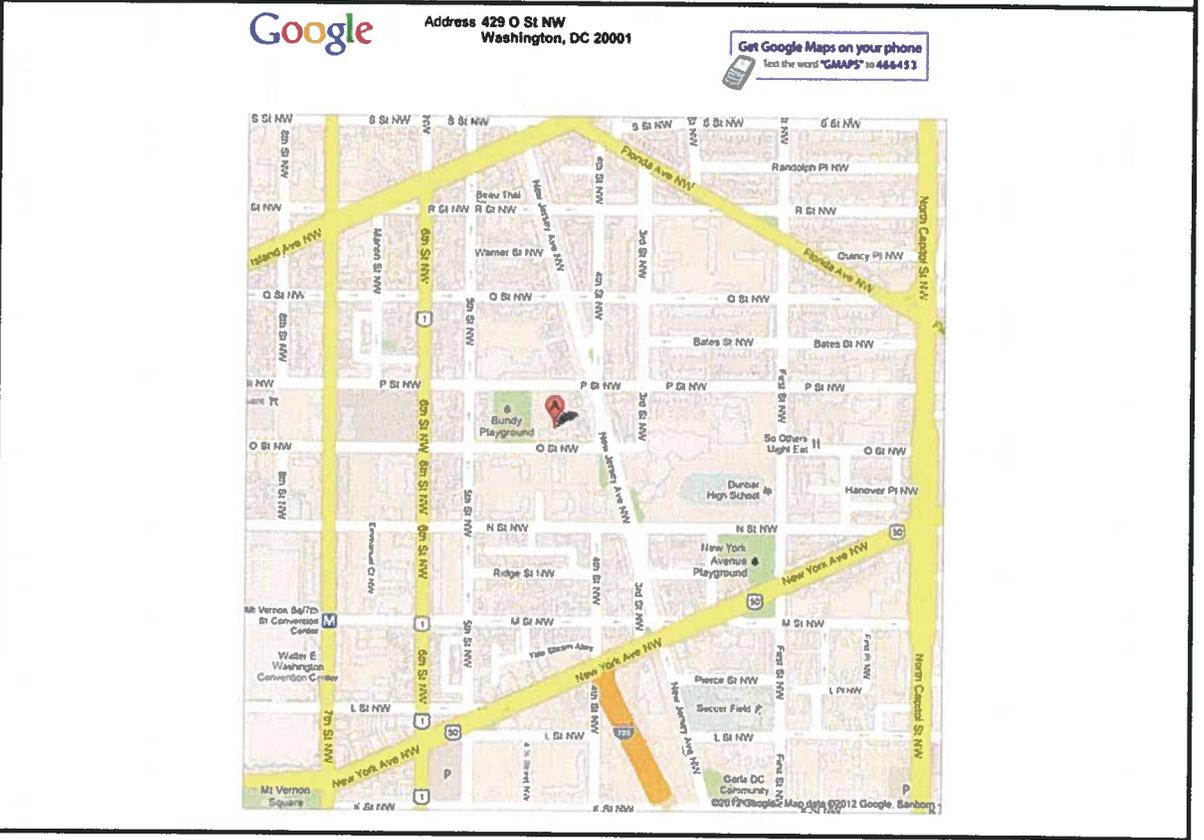
AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

**AREA MAP**





Survey Date 02/24/12	Property Name Bundy Building	Project #DCS070
	Property Address 429 O Street NW	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Bundy Building	Project #DCS070
02/24/12	Property Address	429 O Street NW	

Roof: brick chimney

Northeast corner, Roof over 1<sup>st</sup>  
level

1. Misaligned bricks need to be re-set. Cracks require tuck pointing. Scaffolding required for access.
2. Metal fence, loosened by earthquake, has been re-secured.



**SUMMARY of OBSERVATIONS**

**Bundy Building/429 O Street, NW (February 24, 2012)**

- Item 1: Cracked, unpainted brick on rooftop. Likely pre-existing condition worsened by EG. No hazardous materials anticipated to be disturbed during repairs.
- Item 2: Repairs to exterior fence on 2<sup>nd</sup> floor rooftop have been completed. No hazardous materials anticipated to be disturbed.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



070-1a.JPG



070-1b.JPG



070-1c.JPG



070-1d.JPG



**DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE**

**DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT**

Survey Date	Property Name	Metropolitan Police Department Training Academy	Project #DCS071
2/27/12	Property Address	4665 Blue Plains Drive SW	

	Construction Date:	1971	
<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior	
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	

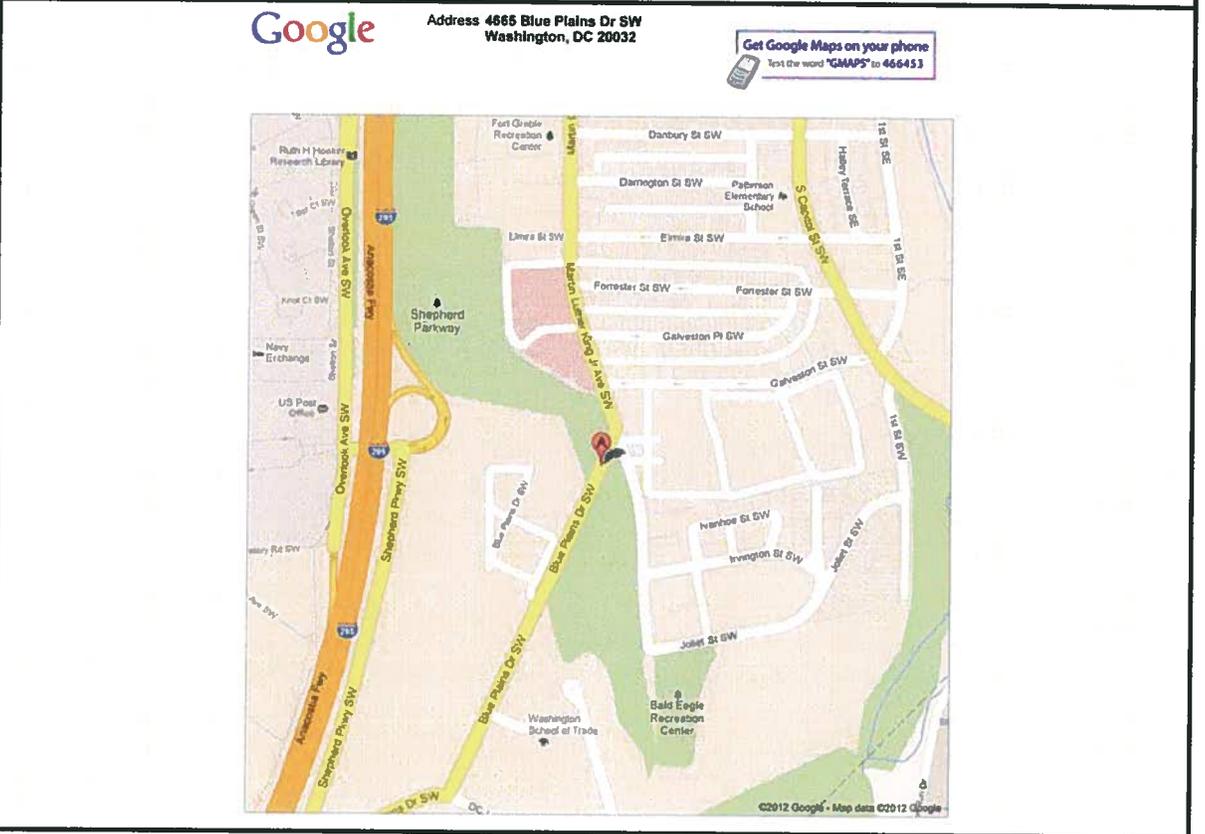
**AGENCY REVIEWS REQUIRED BY:**

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit. See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

**AREA MAP**





Survey Date	Property Name	Metropolitan Police Department Training Academy	Project #DCS071
2/27/12	Property Address	4665 Blue Plains Drive SW	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Metropolitan Police Department Training Academy	Project #DCS071
2/27/12	Property Address	4665 Blue Plains Drive SW	

Exterior concrete retaining walls  
and stairs, at slope south of  
building

Sidewalks, various locations

1. Cracks and spalls: Non-structural patching needed.

2. Repairs have been executed.



**SUMMARY of OBSERVATIONS**

**Metropolitan Police Department Training Academy/4665 Blue Plains Drive, SW (February 27, 2012)**

- Item 1: Damage to exterior concrete stairs. No hazardous materials anticipated to be disturbed. LBP is presumed to be on painted metal railings, but is not anticipated to be disturbed during repairs.
- MPD ERT is also located at this address, but no damage was reported and building was not inspected.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



071-a.JPG



071-b.JPG



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 3/2/12	Property Name DC Mental Health	Project #DCS072
	Property Address 1100 Alabama Ave, SE	

	Construction Date: 2008
--	----------------------------

<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
-----------------	-----------------------------------	-----------------------------------

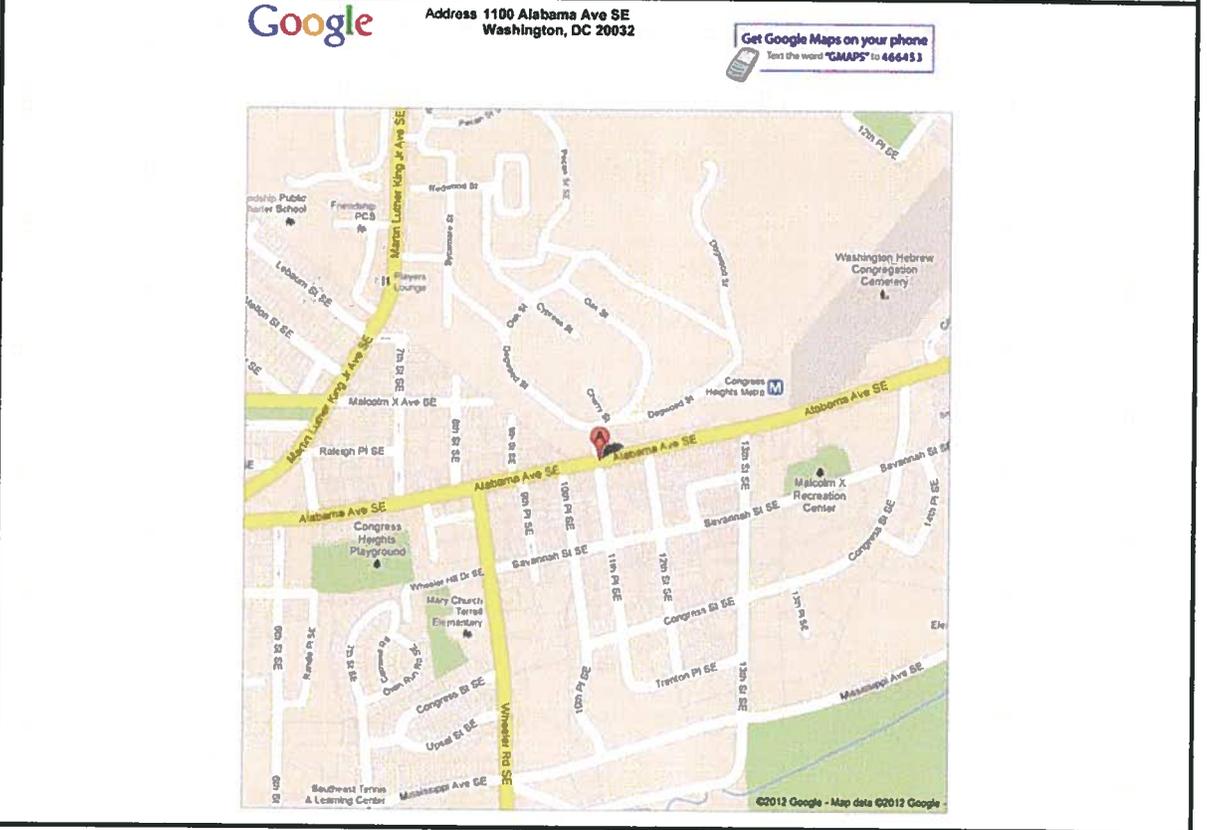
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Saint Elizabeths & Fort Circle Park	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
--	--	---

AGENCY REVIEWS REQUIRED BY:

DCRA     HPRB     CFA     SHPO

Note: When in a Historic District work requires a building permit.  
Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	DC Mental Health	Project #DCS072
3/2/12	Property Address	1100 Alabama Ave, SE	

Curved Brick Exterior Wall (west-facing)

1. The top two courses of brick and the cast stone coping have, in two locations, shifted westward a maximum of a half inch. The shift accurately follows the mortar joint below the two top brick courses. There are weep holes immediately above the shift line, but the shift line is a solid mortar joint, not a flashed joint, as would be anticipated below weep holes. Investigation is advised and as-built drawings would be helpful. It is not clear what extent of repair is warranted.

Room 177

2. Ceiling crack: Patch and re-paint.

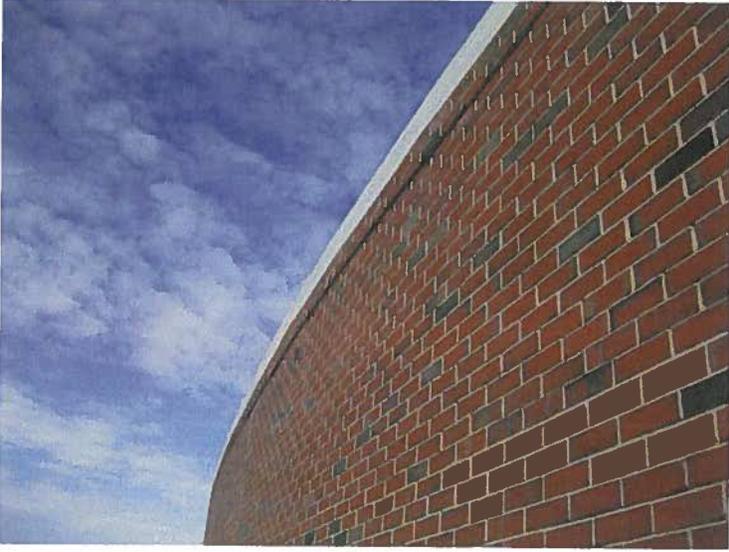


**SUMMARY of OBSERVATIONS**

**DC Mental Health/St. Elizabeths/1100 Alabama Avenue, SW (March 2, 2012)**

- Item 1: Damage to unpainted brick, exterior parapet wall. No hazardous materials were observed during this site visit, nor would not be anticipated due to recent construction date (2008) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



072 item 1.JPG



Survey Date 03/12/12	Property Name	Benning Park Community Center	Project #DCS073
	Property Address	5100 Southern Avenue SE	

	Construction Date:	1969
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
-----------------	-----------------------------------	-----------------------------------

<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
--	-------------------------	---

AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit. See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP

Benning Park Washington, DC

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Text the word "GMAPS" to 466453

**A Benning Park Recreation Center**  
5100 Southern Avenue . Washington D.C.,  
District of Columbia  
(202) 341-6765  
1 review



Survey Date 03/12/12	Property Name	Benning Park Community Center	Project #DCS073
	Property Address	5100 Southern Avenue SE	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Benning Park Community Center	Project #DCS073
03/12/12	Property Address	5100 Southern Avenue SE	

NOTE: orientation

The building entry is considered to be on the east side of the building in this report.

East Corridor

1. Step crack in CMU wall outside Dance Room and vertical crack in west CMU wall, potential for LBP and ACM see HAZMAT: Tuck point, caulk and re-paint.

Dance Room

2. Step crack in west CMU wall potential for LBP see HAZMAT: Tuck point and re-paint.

West Corridor

3. Horizontal crack in east CMU wall and vertical crack in east CMU wall at water fountain, potential for LBP and ACM see HAZMAT: Tuck point, caulk & re-paint

Multipurpose Room

4. East & west CMU walls, horizontal cracks, potential for LBP see HAZMAT: Tuck point & re-paint.

Door: Corridor to Staff Office

5. Horizontal crack in CMU above door, both sides, potential for LBP see HAZMAT: Tuck point & re-paint.

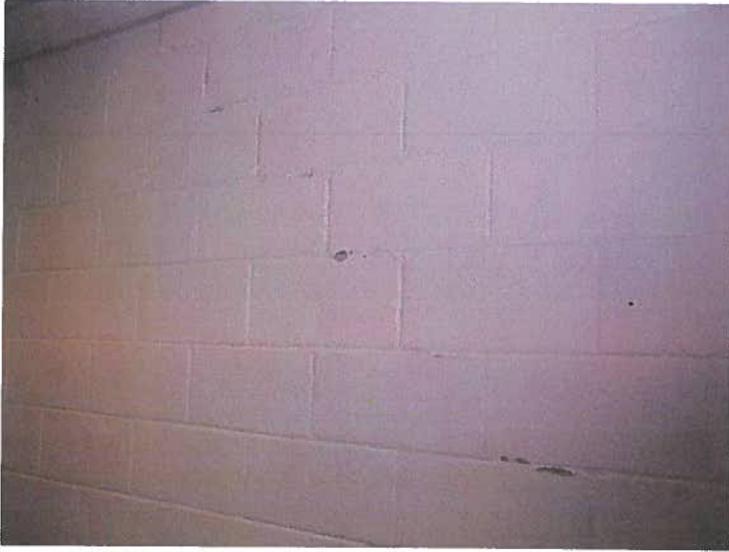


**SUMMARY of OBSERVATIONS**

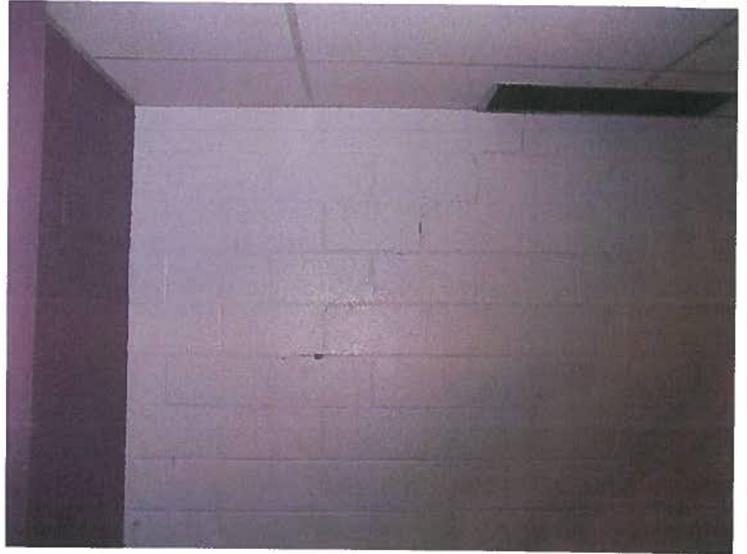
**Benning Park Comm. Center/5100 Southern Ave, SE (March 12, 2012)**

- Items 1 through 5: Cracking of painted CMU walls and separation of painted CMU wall construction joints at multiple interior building locations. Painted CMU walls suspected of being coated with LBP and caulk at construction joints are presumed ACMs due to construction date (1969) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



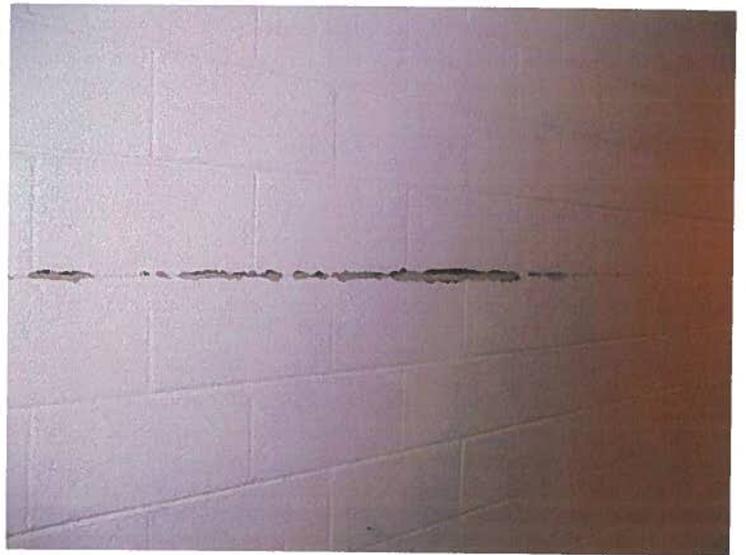
073 item 1.jpg



073 item 2.jpg



073 item 5.jpg



073 item 3.jpg



Survey Date 2/27/12	Property Name	Metropolitan Police Department Mobile Crime Lab	Project #DCS074
	Property Address	3521 V Street NE	

	Construction Date: Mid 1900's	
<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

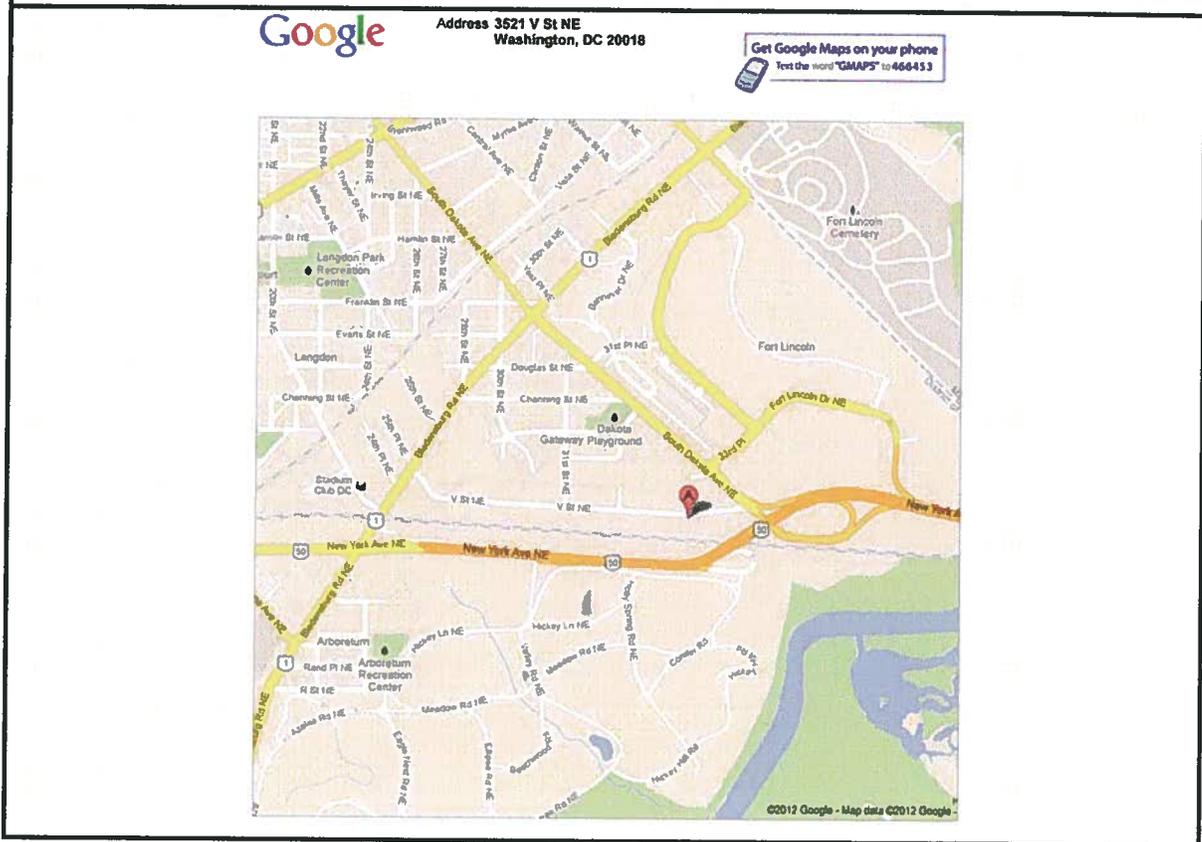
AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	Metropolitan Police Department Mobile Crime Lab	Project #DCS074
2/27/12	Property Address	3521 V Street NE	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Metropolitan Police Department Mobile Crime Lab	Project #DCS074
2/27/12	Property Address	3521 V Street NE	

Rear Corridor, wall above door to  
Men's Locker Room

Rear Corridor, wall above door to  
Room 120

Garage, low ceiling

1. Crack in drywall: Patch & re-paint.
2. Crack in Drywall: Patch & re-paint.
3. Portion of drywall ceiling detached / missing: Repair and re-paint.



**SUMMARY of OBSERVATIONS**

**Metropolitan Police Department Mobile Crime Lab/3521 V Street, NE (February 27, 2012)**

- Items 1 and 2: Cracks on painted drywall wall in 1<sup>st</sup> Floor Hallway, between Room 117/Men's locker Room and Room 120/Blood Drying Room. Age of building is unknown, but was reportedly renovated in 2001. LBP not anticipated being present due to recent renovation.
- Item 3: Damage to unpainted drywall panel attached to concrete slab substrate ceiling at entryway to Garage. No suspect hazardous materials associated with drywall panel was noted, however, paint/coating was observed below drywall on concrete slab. If this paint/coating is paint it would be suspect LBP, or if this is a coating/mastic it would be a suspect ACM.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



074-3.JPG



Survey Date 03/12/12	Property Name Benning Stoddert Community Center	Project #DCS075
	Property Address 100 Stoddert Place SE	

	Construction Date: 1965
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Fort Circle	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When in a Historic District work requires a building permit.  
 Note: Trade permits are required for all work.

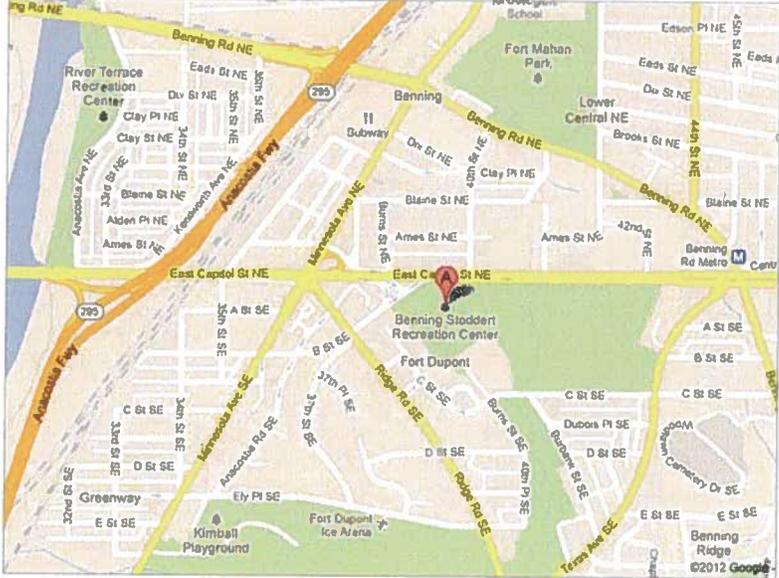
**AREA MAP**



**Benning Stoddert Recreation Center,  
Washington, DC**

Get Google Maps on your phone  
Text the word "GMAPS" to 466453

**A. Benning Stoddert Recreation Center  
Washington, DC**





Survey Date 03/12/12	Property Name Benning Stoddert Community Center	Project #DCS075
	Property Address 100 Stoddert Place SE	

Entry door

1. Separation of door frame with wall, both interior and exterior, potential for LBP see HAZMAT: Re-secure anchorage of door frame, tuck point one unit of CMU at interior head of door, caulk frame edge inside and outside, re-paint both sides.



**SUMMARY of OBSERVATIONS**

**Benning-Stoddert Comm. Center/100 Stoddert Place, SE (March 12, 2012)**

- Item 1: Separation at interior and exterior door frame and wall interfaces on Main Entrance door. Painted interior and exterior walls, as well as painted door components, suspected of being coated with LBP due to estimated construction date (pre-1978) of building. Caulk at interior and exterior interfaces would be presumed to be ACM due to estimated construction date of the building. VFT/mastic (presumed ACMs) and vinyl cove base/mastic (presumed ACMs) were observed in interior of building, but are not anticipated to be disturbed during repairs.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



075 item 1.jpg



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 2/22/12	Property Name Ward 1 Wellness Center	Project #DCS077
	Property Address 3531 Georgia Ave, NW	

	Construction Date: 2010
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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AGENCY REVIEWS REQUIRED BY:

<input type="checkbox"/> DCRA	<input type="checkbox"/> HPRB	<input type="checkbox"/> CFA	<input checked="" type="checkbox"/> SHPO
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Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP

Address 3531 Georgia Ave NW  
Washington, DC 20010

Get Google Maps on your phone  
 Text the word "GMAPS" to 486453



Survey Date 2/22/12	Property Name Ward 1 Wellness Center	Project #DCS077
	Property Address 3531 Georgia Ave, NW	

Unless you are in a [historic district](#), the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Ward 1 Wellness Center	Project #DCS077
2/22/12	Property Address	3531 Georgia Ave, NW	

- |   |  |
|---|--|
| 3 <sup>rd</sup> Floor Conference Room               | 1. Southeast & southwest wall cracks & ceiling crack: Spackle & re-paint.  |
| North Stair, 3 <sup>rd</sup> floor, north wall      | 2. West corner: crack: Spackle & re-paint.   |
| 3 <sup>rd</sup> Floor Corridor, above elevator door | 3. Wall crack: Spackle & re-paint.   |
| 2 <sup>nd</sup> Floor Atrium                        | 4. Cracks: Between bases of windows (north & west) and at southeast wall: Spackle & re-paint, scaffolding required for access.             |
| 2 <sup>nd</sup> Floor Corridor                      | 5. Elevator door jamb: Caulk & re-paint separation between frame & wall. Door to Room 201: Crack above frame: Spackle & re-paint.          |
| Room 201  | 6. Spackle & re-paint wall cracks: Above door to Room 202, Exercise Room west wall north end, & Exercise Room south wall above stair door. |
| Room 203  | 7. Spackle & re-paint crack at east wall of Massage Room.  |
| Room 202  | 8. Spackle & re-paint crack above door frame at north wall.  |
| Corridor Outside Room 307                           | 9. Spackle & re-paint crack.   |

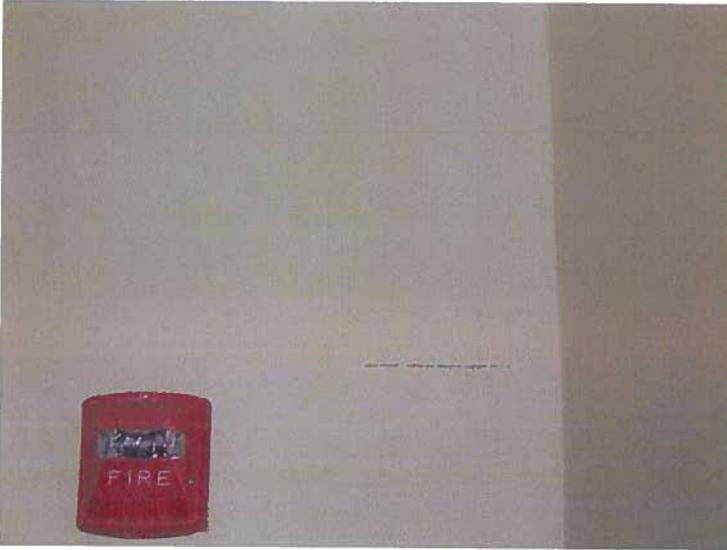


**SUMMARY of OBSERVATIONS**

**Ward 1 Wellness Center (February 22, 2012)**

- No hazardous materials are anticipated to be encountered due to reported construction date (2010) of building.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



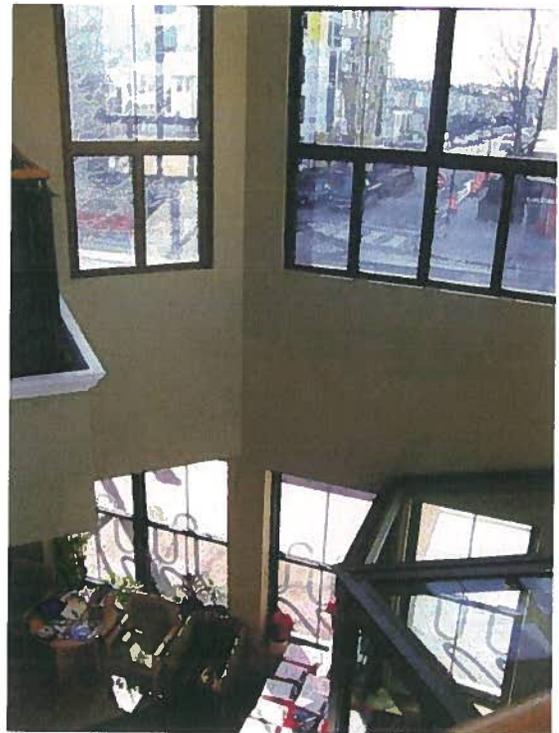
077 item 1.jpg



077 item 2.jpg



077 item 5.jpg



077 item 4.jpg



Survey Date 02/17/12	Property Name Douglass Recreation Center	Project #DCS079
	Property Address 2100 Stanton Terrace SE	

	Construction Date: 1967
--	----------------------------

<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
-----------------	-----------------------------------	-----------------------------------

<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Fort Circle Connecting Park System	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When in a Historic District work requires a building permit.  
Note: Trade permits are required for all work.

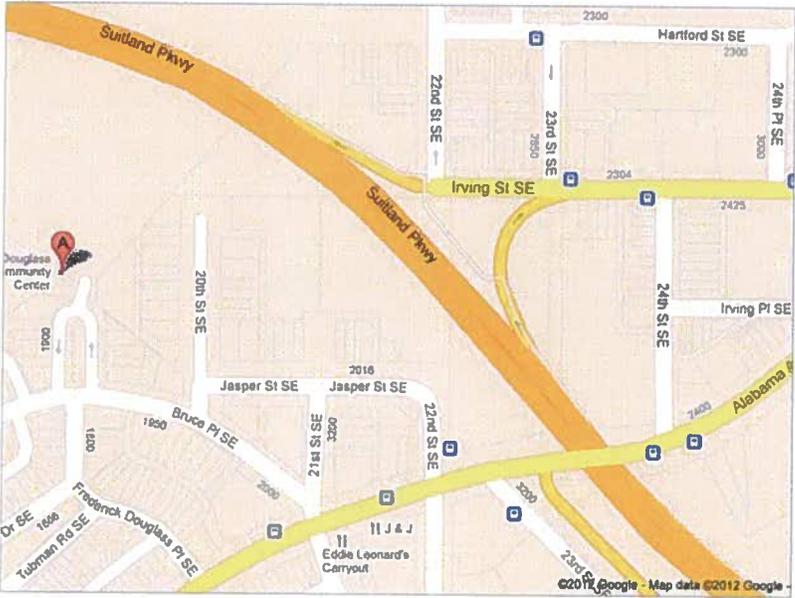
**AREA MAP**



douglas community center near Washington, District of Columbia

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**A. Douglass Community Center**  
1898 Stanton Ter SE, Washington, DC  
(202) 645-3980



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Survey Date	Property Name	Douglass Recreation Center	Project #DCS079
02/17/12	Property Address	2100 Stanton Terrace SE	

**EXTERIOR**

South Wall Outside Computer Room

1. Vertical cracking at CMU corner and at joint between concrete and CMU, potential for LBP see HAZMAT: Grind and install flexible sealant.

Air Conditioner Enclosure

2. Cracking at mortar joints of CMU, potential for LBP see HAZMAT: Tuck point and paint.

West Wall Outside Multipurpose

3. Vertical cracking at CMU, corner potential for LBP see HAZMAT: Grind and install flexible sealant, re-paint.

Corner Outside Boy's Restroom

4. Vertical cracking at CMU corner, determined to not be earthquake related.

**INTERIOR**

Main Room – South & North Walls

5. Mortar between brick and metal door frame is missing, determined to not be earthquake related. Potential for LBP adjacent to work area, see HAZMAT: Remove loose material, install expanding foam to provide backing, and install caulking.

Main Room Soffit

6. Cracking at plywood seams, not earthquake related.



**SUMMARY of OBSERVATIONS**

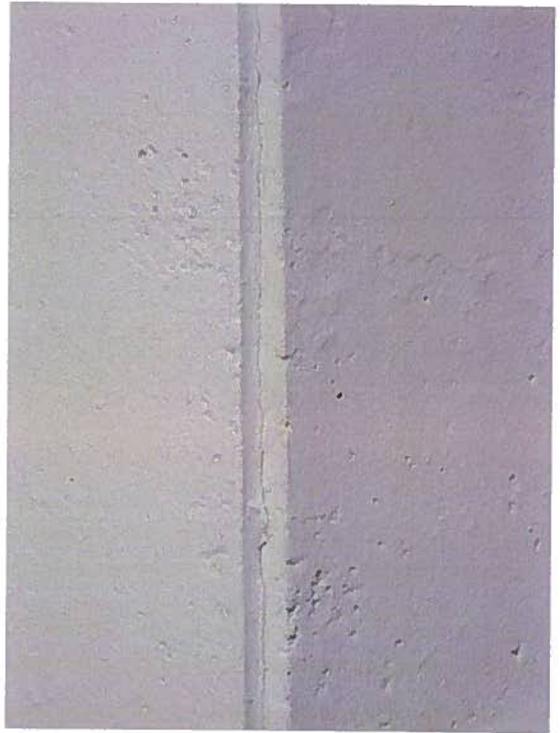
**Douglass Recreation Center/2100 Stanton Terrace, SE (February 17, 2012)**

- Items 1, 2, 3, and 4: Exterior cracking on painted CMU and concrete walls. Walls suspected of being coated with LBP due to construction date (1967) of building. It should be noted that suspected asbestos-containing Transite boards were observed along roof edge/soffit. This material was observed to be damaged in a few locations, but is not anticipated to be disturbed during exterior EQ repairs.
- Item 5: Separation of vertical seams along metal door frames/casings and brick walls throughout interior of building. Metal door frames/casings are coated with suspect LBP, but are not anticipated to be disturbed during repairs (i.e. expanding foam and caulk.)
- Item 6: Cracking along joint compound seam on plywood ceiling seams not likely EQ damage. JC associated with plywood ceiling seams is suspect ACM.

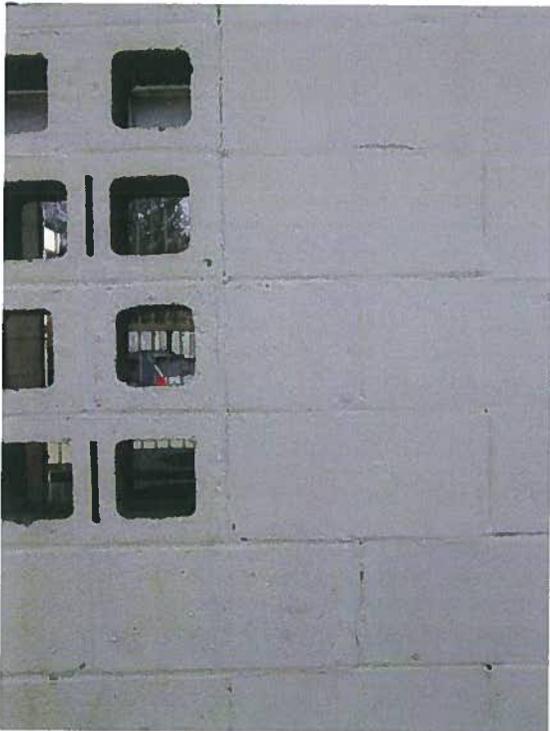
**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



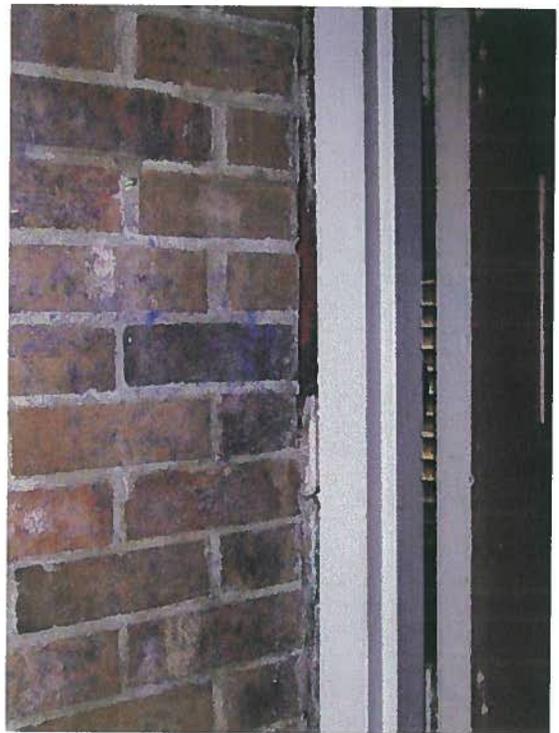
079 item 1.jpg



079 item 3.jpg



079 item 2.jpg



079 item 5.jpg



Survey Date 2/22/12	Property Name Washington Senior Center	Project #DCS083
	Property Address 3001Alabama Ave., SE	

	Construction Date: 1993
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
-----------------	-----------------------------------	-----------------------------------

<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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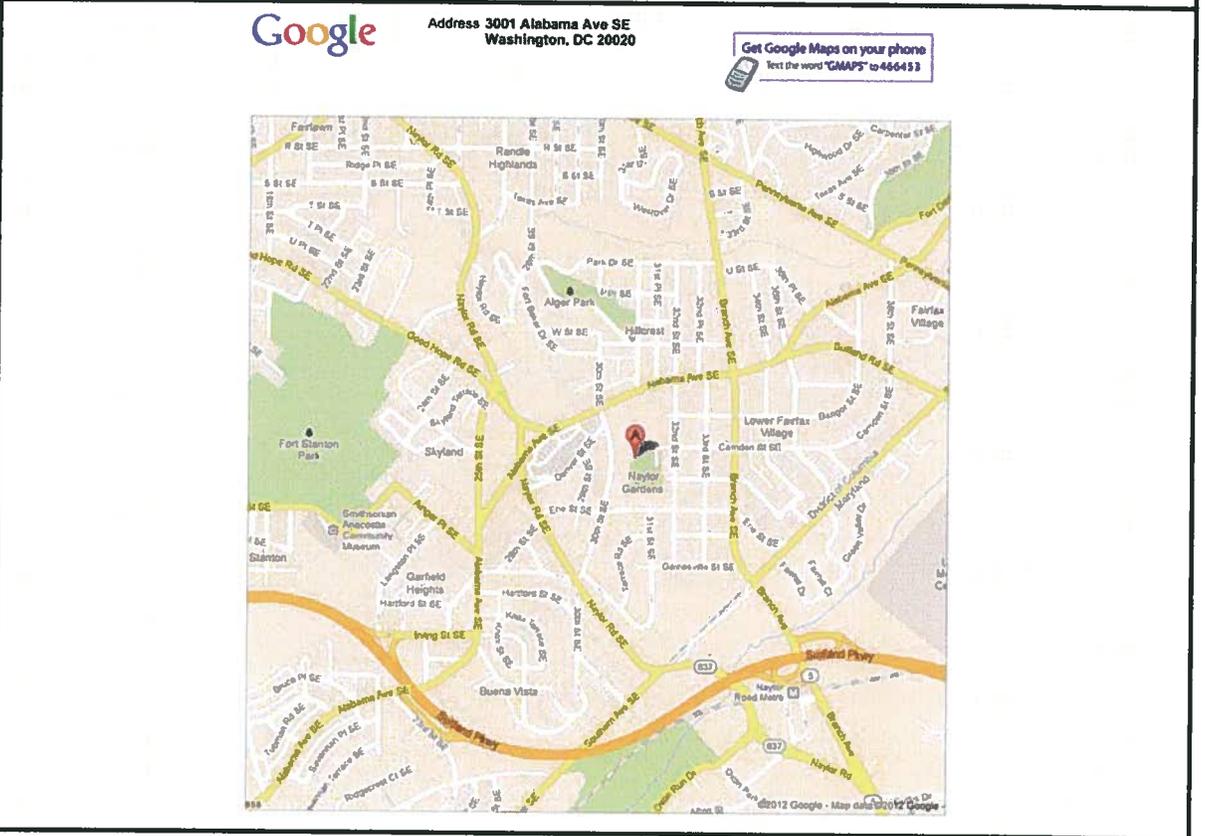
AGENCY REVIEWS REQUIRED BY:

<input type="checkbox"/> DCRA	<input type="checkbox"/> HPRB	<input type="checkbox"/> CFA	<input checked="" type="checkbox"/> SHPO
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Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date 2/22/12	Property Name Washington Senior Center	Project #DCS083
	Property Address 3001Alabama Ave., SE	

Unless you are in a **historic district**, the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	Washington Senior Center	Project #DCS083
2/22/12	Property Address	3001Alabama Ave., SE	

Sun Room

1. Cracks in gypsum board at north & south walls above windows: Spackle & re-paint.

Exercise Room

2. Gaps between gypsum fascia and south CMU wall: Caulk & re-paint. Cracks in gypsum soffits: Spackle & re-paint.

Electrical Room

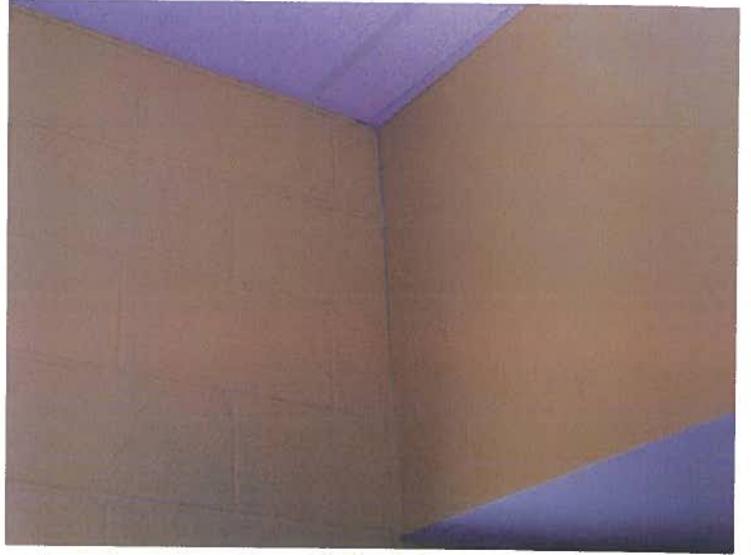
3. Tuck point CMU above fire panel. Paint caulk in southeast corner.

North Patio

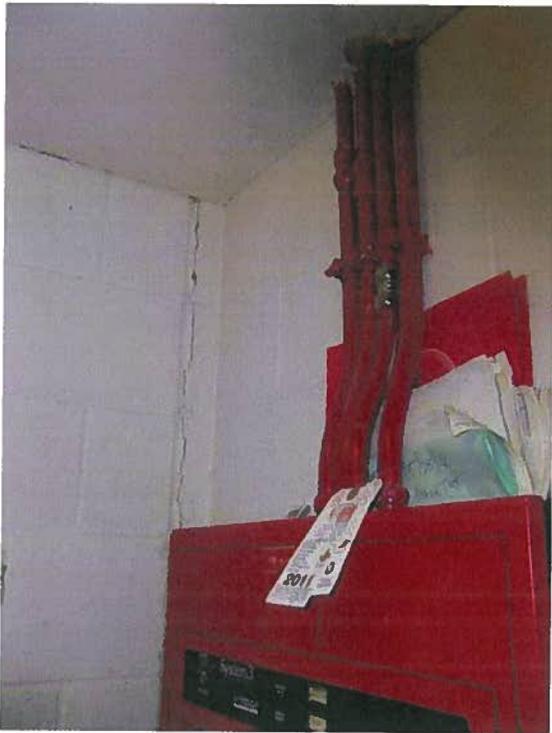
4. Expansion joint in north patio wall has widened and adjacent slab cracked: Fill the expansion joint in patio wall with mortar. Fill crack in slab with epoxy grout.



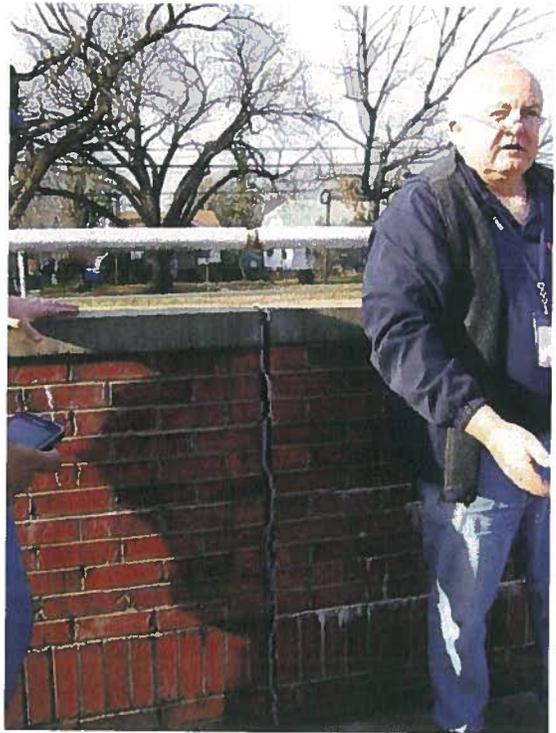
083 item 1.jpg



083 item 2.jpg



083 item 3.jpg



083 item 4.jpg



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 2/22/12	Property Name House of Togetherness	Project #DCS086
	Property Address 1835 Evarts Street, NE	

	Construction Date: Circa 1930
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<b>HISTORIC</b>	<input type="checkbox"/> Exterior	<input type="checkbox"/> Interior
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<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Historic District Name:	National Register Listed <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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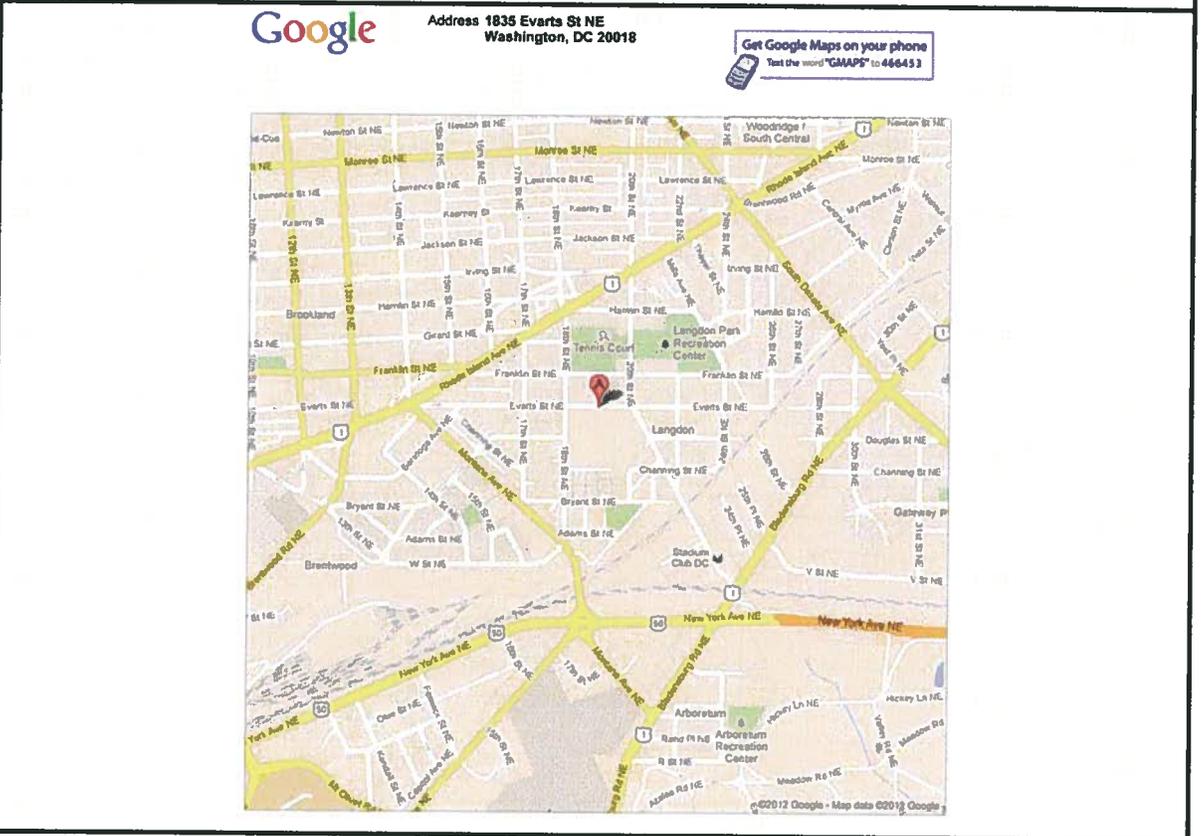
AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When not in a Historic District some work does not require a building permit.  
See next page for list of work not requiring a permit.

Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	House of Togetherness	Project #DCS086
2/22/12	Property Address	1835 Evarts Street, NE	

Unless you are in a **historic district**, the following work does not require a building permit:

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural millwork
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls, 18 inches (0.46m) or less in height
- Construction of garden storage sheds complying with DC Code Section 105.2.6
- Painting, but not painting with fire-retardant paint

Replacement of the following materials:

- Non-rated windows and doors
- Siding
- Gutters and downspouts
- Private sidewalks and driveways
- Patios
- Non-rated suspended ceiling tile
- Floor coverings
- Up to 160 square feet (9.3m) of gypsum board
- Up to 50 linear feet (15.24m) of sanitary venting piping
- Up to 10 linear feet (3.05m) of sanitary drainage system piping
- Up to 20 linear feet (6.10m) of sanitary venting piping
- Up to 50 linear feet (15.24m) of hydraulic system piping
- Up to 10 linear feet (3.05m) of duct work, in non-hazardous and commercial kitchen exhaust systems



Survey Date	Property Name	House of Togetherness	Project #DCS086
2/22/12	Property Address	1835 Evarts Street, NE	

Upstairs Corridor ceiling	1. Transverse plaster cracks, potential for LBP see HAZMAT: Repair and re-paint.
West 2 <sup>nd</sup> Floor Bedroom	2. Plaster cracks in walls, potential for LBP see HAZMAT: Spackle & re-paint.
East 2 <sup>nd</sup> Floor Bedroom	3. Plaster cracks, potential for LBP see HAZMAT: Spackle & re-paint.
Bathroom 2 <sup>nd</sup> Floor east, west wall	4. Plaster cracks, potential for LBP see HAZMAT: Spackle & re-paint.
Dining Room (east of corridor)	5. Plaster cracking of ceiling and separation between plaster and mantel, potential for LBP on painted surfaces see HAZMAT: Spackle & re-paint walls. Caulk around mantle and re-paint.
Enclosed Porch	6. Shifting of bricks, potential for LBP see HAZMAT: Caulk and re-paint.
Kitchen ceiling	7. Plaster cracks, potential for LBP see HAZMAT: Spackle & re-paint.
Rear Bedroom 1 <sup>st</sup> Level	8. Wide plaster crack at west window head and hairline cracks in plaster ceiling, potential for LBP see HAZMAT: Repair and re-paint.
Basement Corridor	9. Ceiling crack and separation between head of door below stair and plaster, potential for LBP see HAZMAT: Spackle and re-paint, caulk separation around door trim and repaint.
Basement Bathroom	10. Step crack in CMU wall and cracking of caulking, potential for LBP see HAZMAT: Tuck point, caulk and re-paint.
Rear Basement Room, west wall	11. Plaster cracks, potential for LBP see HAZMAT: Spackle & re-paint.
Exterior West Wall, South Portion, & South Wall, West End	12. Several diagonal step cracks in brick walls: Tuck point.
Exterior of South Dining Room Window	12A. Crack above window: Tuck point.
North Exterior Wall, west side	12B. Crack between 1 <sup>st</sup> and 2 <sup>nd</sup> story windows: Epoxy injection.



**SUMMARY of OBSERVATIONS**

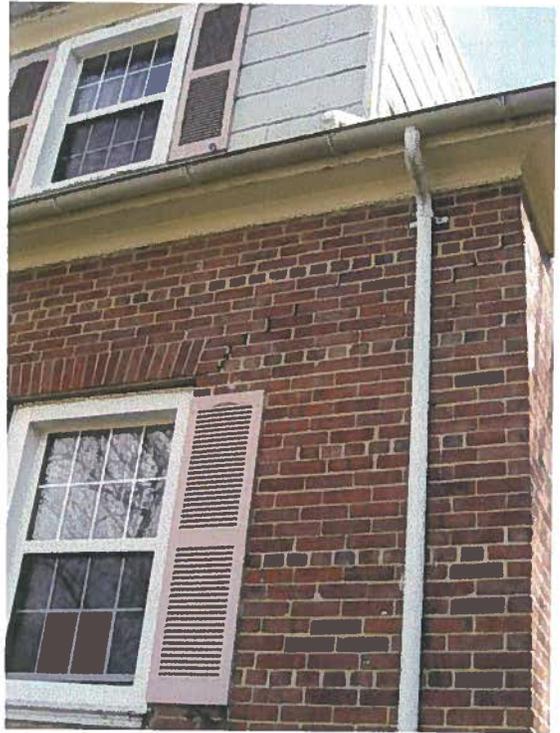
**House of Togetherness (February 22, 2012)**

- Items 1, 2, 3, and 4: Cracking of painted plaster walls and ceilings in multiple locations on 2<sup>nd</sup> Floor of building. Plaster suspected of being coated with LBP due to construction date (circa 1930s) of building.
- Item 5: Cracking of painted plaster ceiling, separation of painted plaster walls and painted wood window casings, and separation of painted wood fireplace mantle/casing in 1<sup>st</sup> Floor Dining Room. Painted surfaces likely coated with LBP due to construction date (circa 1930s) of building.
- Item 6: Shifting of painted brick adjacent to painted door casing in NW corner of 1<sup>st</sup> Floor Sun Room. Painted surfaces assumed to be coated with LBP due to construction date (circa 1930s) of building, although sunroom was a later addition. Additional Note: Suspect mold growth was observed on damaged ceiling areas, along baseboard in select areas, and is likely present below carpet. Suspect mold growth not associated w/ EQ damage and unlikely to impact EQ repairs.
- Items 7, 8, 9, 10, and 11: Miscellaneous cracking and separation on various painted building materials found on 1<sup>st</sup> Floor and in Basement. Painted surfaces assumed to be coated with LBP due to construction date (circa 1930s.)
- Item 12: Damage to unpainted brick on SW and SE exterior of building. Suspect LBP on windows and suspect ACM shingles observed on 2<sup>nd</sup> Floor SW corner bump out. These materials are not anticipated to be disturbed by exterior repairs.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



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086-12.JPG



DISTRICT OF COLUMBIA  
2012 EARTHQUAKE INITIATIVE

DEPARTMENT OF GENERAL SERVICES  
FACILITY ASSESSMENT

Survey Date 3/2/12	Property Name Sumner School	Project #DCS087
	Property Address 1201 17 <sup>th</sup> Street, NW	

	Construction Date: 1872
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<b>HISTORIC</b>	<input checked="" type="checkbox"/> Exterior	<input checked="" type="checkbox"/> Interior
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<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Historic District Name: Charles Sumner School	National Register Listed <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
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AGENCY REVIEWS REQUIRED BY:

DCRA    HPRB    CFA    SHPO

Note: When in a Historic District work requires a building permit.  
Note: Trade permits are required for all work.

AREA MAP





Survey Date	Property Name	Sumner School	Project #DCS087
3/2/12	Property Address	1201 17 <sup>th</sup> Street, NW	

Attic Elevator Hallway

Attic Collection Storage Room

Attic Collection Storage Room

Main Office, Level 2, west side

1. Deep crack in vinyl tile flooring of 5<sup>th</sup> floor, potential of ACM see HAZMAT: Remove damaged tiles. Investigate to ensure sound substrate. Fill void as required. Replace tiles.
2. Repairs completed to damaged area of floor.
3. Weld repair to steel roof truss completed.
4. Plaster wall cracks, potential for LBP see HAZMAT: Patch & re-paint

**SUMMARY of OBSERVATIONS****Sumner School (Museum)/1201 17<sup>th</sup> Street (March 2, 2012)**

- Item 1: Damage to floor in 5<sup>th</sup> Floor/Attic Level Elevator Lobby. Pre-existing condition possibly worsened by EQ. Cracked/delaminated VFT and associated mastic is presumed ACM.
- Item 2: Approximately 35 SF of VFT was replaced during floor repairs in 5<sup>th</sup> Floor/Attic Level Collections Storage Room. Repairs have been completed; no additional work anticipated for this item.
- Item 3: Crack in structural beam in 5<sup>th</sup> Floor/Attic Level Collections Storage Room. Repairs have been completed; no additional work anticipated for this item.
- Item 4: Cracks on painted, textured plaster wall in 2<sup>nd</sup> Floor Main Office. Assume LBP on original walls (original construction date 1873.) It should be noted that the building was extensively renovated between 1979 and 1986. Interior walls added during this timeframe would be unlikely to be LBP, but should be tested if they will be disturbed during recommended repairs. Textured plaster wall should be presumed to be ACM.

**NOTE:** It is recommended that testing of building materials suspected of containing/being coated with hazardous materials should be performed prior to the disturbance of such materials to confirm/refute presumptions made during all DC DGS/FEMA building surveys.



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